



NELSON COUNTY PLANNING COMMISSION

Meeting Agenda: July 27, 2016

General District Courtroom, 3rd Floor, Nelson County Courthouse, Lovingston

– **7:00 – Meeting Convenes / Call to Order**

– **Review of meeting minutes: June 22, 2016**

– **Public Hearing Items:**

1. **Review of Ag-Forestal District Application #2016-01 / Mr. Marc Chanin**

AFD #2016-01 requests a voluntary expansion of the existing Greenfield Ag-Forestal District by 13.88 total acres, comprised of two parcels owned by the applicant: #13-10-1 (2.43 acres, zoned A-1) and #13-10-3 (11.45 acres, zoned A-1). One or more members of the AFD Advisory Committee will attend the hearing and provide a summary of their review and their formal recommendations.

– **Other Agenda Items:**

▪ **Review of Class C Tower Permit Application #2016-08 / SHENTEL**

- 12979 Thomas Nelson Hwy (CV221 “Polly Wright Cove”) / TM Parcel #45-A-40

▪ **Project Update: Rockfish Valley Area Plan (RVAP)**

County staff and Thomas Jefferson Planning District Commission staff will provide a report of the progress to date on this long-range planning project. This report will include a summary of the June 28th public meeting; a summary of Community Survey responses; and a summary of other work products created during the area analysis portion of the RVAP project.

▪ **Continued Review of Proposed Amendments to Zoning Ordinance Article 10 – “General Floodplain District (FP)”**

The Planning Commission will continue their ongoing review of proposed text amendments to the Floodplain Ordinance. A public hearing was conducted on these proposed amendments on June 22.

– **Other Business** (*as determined by PC members or County staff / as may be applicable*)

– **Board of Supervisors Report**

– **Adjournment**

– **Next Meeting:** August 24, 2016 | 7:00pm

NELSON COUNTY PLANNING COMMISSION
MEETING MINUTES
June 22, 2016

Present: Chair Philippa Proulx, Commissioners Mike Harman, Linda Russell, Mary Kathryn Allen, Robert Goad and Tommy Bruguere (Board of Supervisors Liaison)

Staff Present: Tim Padalino, Director of Planning & Zoning and Stormy Hopkins, Secretary

Call to Order: Chair Proulx called the meeting to order at 7:01 P. M. in the General District Courtroom, County Courthouse, Lovington.

Approval of Minutes – May 25, 2016:

Commissioner Harman made the following motion:

I move that the minutes from May 25, 2016 be approved as updated on June 14th and June 20th; the vote 5-0 with Commissioner Allen abstaining.

Public Hearing Items:

- 1. Proposed Amendments to Zoning Ordinance Article 10 - (General Floodplain District FP): (referral made at 12/8/2015 BOS meeting; PC review continued from 4/27/2016 PC meeting)**

Mr. Padalino noted this is a **meeting public hearing** of the referred amendments regarding Article 10 – (General Floodplain District FP).

Mr. Padalino noted that in January 2015, County Staff began coordinating with the Virginia Department of Conservation and Recreation (DCR). VA DCR administers the Floodplain Management Program for the Commonwealth. That coordination led to a request from the County Administrator on June 2, 2015 to have DCR formally review/audit the County's existing floodplain ordinance. The results of that review/audit were received on June 15, 2015. Using the recommendations/requirements from DCR, staff developed the original proposed floodplain amendments that were presented to the Board of Supervisors (BOS) on August 11, 2015. Mr. Padalino then continued with a summary of the amendment review process to date (as described in the Staff Report dated June 14, 2016 – see attached).

Mr. Padalino then spoke about the purposes and values of the County having a floodplain management ordinance and program (referencing the draft dated May 26, 2016 and as described in Section 10.1). He explained that during the ordinance audit by DCR, several "higher standards" were recommended – and stated that such higher standards are encouraged by both the Code of Federal Regulations (CFR) and DCR. Specifically, the CFR says, "any community may exceed the minimum criteria by adopting more comprehensive floodplain management regulations." Additionally, a document published by VA DCR in 2014 titled "Guidance for Local Floodplain Ordinances in VA" states that, "states and communities are encouraged to enact more restrictive requirements where needed to better protect people and properties." He also noted that Nelson County has four (4) types of High Hazard Areas (HHA), which includes alluvial fan flooding; flash flooding; mud slides; and erosion. Mr. Padalino also stated that in addition to these types of HHA, "we are also a community which witnessed and was impacted by Hurricane Camille in 1969," and cited the Nelson County Flood Insurance Study published by FEMA which says, "damage resulting from tropical storm Camille was the worst in Virginia's history... this torrential rain represents one of the all-time meteorological anomalies in the United States."

Mr. Padalino summarized that there is recognition that Nelson County has suffered through some of the most extreme storms on record and that the County contains several examples of HHA – and therefore there may be good reason to have these higher standards in our floodplain ordinance.

Mr. Padalino provided a summary of the Proposed PC Modifications of Referred Amendments (as described in the Staff Report dated June 14, 2016 – see attached).

1. *Separate “Special Use Permit” and “Variance” Procedures and Requirements;*
2. *Replace the “Special Use Permit” requirement for “all uses, activities, and development” with an administrative “zoning permit” requirement; and*
3. *Modify the (proposed) higher standards to be less restrictive.*

Mr. Padalino noted that, before the PC can make a formal recommendation to the BOS, the PC must review an additional policy issue not addressed in the May 26 version of the proposed amendments. That issue is the concept of a “Variance,” and more specifically the definition of the term “Variance” as it relates to floodplain management purposes. The existing definition of “Variance” in Z.O. Article 2 (“Definitions”) differs from the definition contained in the model ordinance. The model ordinance defines “Variance” as follows: *“Variance means a grant of relief by a community from the terms of a floodplain management regulation.”* He believes it is important to recommend modifications to the definition of “Variance,” to be different than the definition of Variance as defined in Article 2 and as would be applicable in more general circumstances unrelated to floodplain management. Mr. Padalino also noted that Mr. Payne (County Attorney) has confirmed that it is acceptable to have a definition within Article 10 that is specifically applicable to floodplain management administration, as long as it is so noted, without affecting or conflicting with the other definition of “Variance” found in Article 2.

Mr. Padalino then stated that the critical importance of this issue is derived from the fact that using the universal term for “Variance” in connection with these proposed amendments could be problematic. He noted that this issue involving the definition of “Variance” was identified on May 26th, the day after the previous PC meeting (at which time the Commission had already directed staff to advertise for a public hearing).

Commissioner Russell asked if the model ordinance definition conflicts with the Code of Virginia. She also noted that she understands there are three different definitions of “Variance” (model ordinance; County ordinance; and Code of Virginia). Mr. Padalino indicated that he believes that to be correct. He noted that the County’s ordinance and the Code of Virginia are different but very similar; but the state’s model floodplain ordinance is very different, because it specifically relates to floodplain management purposes.

Chair Proulx wanted to emphasize that while SUP is not being used in the proposed amendments to the floodplain ordinance, if the underlying zoning district requires a SUP for a given use then that use would still require a SUP for the use but not for floodplain management purposes. Mr. Padalino confirmed that was correct, and added that the SUP requirement would only be eliminated as it relates to the floodplain overlay district, not the underlying zoning district.

Mr. Padalino then summarized the proposed text amendments as originally referred by the BOS (as stated in the Staff Report dated June 14, 2016 – see attached).

- *Increase freeboard from existing 12” requirement to 18” requirement;*
- *Define “critical facilities” and prohibit them in all Special Flood Hazard Areas (SFHA);*
- *Restrict “hazardous materials” and fuels in all Special Flood Hazard Areas (SFHA);*
- *Limit land uses in the Floodway to only non-structural uses;*
- *Modify the requirements for when the Base Flood Elevation needs to be identified and included on subdivision plats; and*
- *Restrict the placement of fill in all Special Flood Hazard Areas (SFHA).*
- *Editorial revisions intended to bring existing ordinance into compliance with model ordinance.*

Chair Proulx opened the public hearing at 7:21pm.

Vicki Wheaton: Ms. Wheaton stated that she, “would like to thank each of you for your diligence in reviewing and supporting the recommended updates to Nelson’s floodplain ordinance over the last four months. And I’d also

like to thank Tim Padalino for his diligence over the last (almost) two years. These meetings have been my first exposure to how the Planning Commission proceeds – and if I had to give you a grade, it would be an A+. You consult experts to clarify and guide; you ask pertinent and intelligent questions; and it's apparent that you care deeply for your County, the County you represent. I never realized the commitment that it takes for you to fulfill your duties in serving Nelson County's ever growing and often times complex needs. And I just want to thank you from the bottom of my heart for serving your county. Thank you."

Chair Proulx thanked Ms. Wheaton for the kind **works** words and asked if there were any other comments from the public. With no further comments; the public hearing was closed at 7:22pm.

The Commissioners had the following questions/concerns/comments:

1. ~~There was correspondence (between Mr. Padalino and Mr. Charles Kline) given to the Commissioners at the last meeting. In those correspondences, it appears to be the issue of how the pipeline will affect the County. At the last meeting Commissioners received copies of correspondence between Mr. Padalino and Mr. Charles Kline discussing how transmission pipeline construction should be treated in flood plain ordinances. Mr. Kline (in an emailed dated April 30th) states, "The construction would require a local floodplain development permit, only if surface development occurs in the SFHA. If surface development occurs in this SFHA, as part of the project, a locality must permit according to the regulations set forth in the local governments adopted floodplain ordinance."~~ Commissioner Russell questioned the "must". Mr. Padalino noted that he does not take "permit" to be synonymous with "approve." He indicated that he believes "must permit" means to administer the ordinance according to the regulations contained within said ordinance, and to either approve or deny as may be applicable.
2. Chair Proulx noted that within those same correspondences it states "regardless of whether it is on the surface" and asked if that was still the understanding? Mr. Padalino noted that is correct, and read the section in question from the correspondence dated May 21, 2015, which reads: "the construction will require a local floodplain development permit regardless of whether development occurs on the surface or not within the SFHA. The locality must evaluate submitted engineering study for approval of any development according to their regulations set forth in their local governments adopted floodplain ordinance." He also noted that this was a document that was distributed to many localities across the Commonwealth.
3. In regards to the "variance" definition; if one goes before the BZA for a floodplain variance, do they still need to meet the same criteria that they use for other requests? Mr. Padalino indicated that the criteria would be different, because the floodplain ordinance contains variance criteria specific to floodplain management purposes. He added that the County is missing the "connecting link" to say that the variance refers to the variance in this Article, and not the variance applicable to the remainder of the Z.O. Mr. Padalino then referred to the existing Z.O. Section 10.22 which refers to SUP and Variances. He further noted that under the proposed amendments, everything in Section 10.22 pertaining to variances would remain, and all SUP references would be eliminated.
4. If a definition for "variance" is added to Section 10, how is confusion avoided with the standard reference to "variance"? Mr. Padalino noted that are some other examples of that kind of double-definition in the Z.O. He stated it would be important for the definition of Variance in Article 10 to explicitly note that the definition applies to floodplain management purposes (is applicable to Article 10), and to create language that distinguishes it from the definition of Variance in Article 2.
5. In the BZA "variance" section, does a reference need to be made there as well? Mr. Padalino noted that when a Variance request is submitted regarding floodplain management regulations, it would be pursuant to Article 10.13 and Section 10.22. And if a Variance request is submitted regarding other issues such as setback or lot size requirements, it would be submitted pursuant to 14-2-4. So the type of variance request would be distinguished from the initial point of application, and there would not be any procedural or technical issues. He also noted that he does not believe a review of Article 14 (BZA) was part of the review to date, and may be something that is highly prudent.

The Commissioners agreed to add a definition for "variance" to Article 10, but do not want to **make a decision** vote on a recommendation to the BOS at tonight's meeting. They will make a recommendation at next month's meeting.

Chair Proulx mentioned Mr. Bank's offer for a Work Session on floodplain issues. She believes it would be interesting and would provide the general population with more awareness. She would like to know how to pursue that option. Mr. Padalino noted that it would be best for any such coordination to occur through the BOS and the County Administrator. He also noted that conducting a floodplain workshop could be a part of the PC's recommendation.

Chair Proulx asked that draft language for variance be provided in the next meeting packet. Mr. Padalino noted that it would; and that, per the commission's directive, the entire draft ordinance would not be reprinted, and only the newly affected section(s) would be printed.

Other Agenda Items:

Introduction of Class C Tower Permit Application #2016-08 / SHENTEL

Mr. Padalino noted that this was an introduction for a Class C Communication Tower Permit. The application was received from Ms. Jessie Wilmer of SHENTEL (formerly nTelos). He noted that there is an existing facility on the subject property, and showed maps of the subject property's location and characteristics. The parcel is identified as Tax Map Parcel #45-A-40, and is zoned Agricultural (A-1). There are two existing monopoles on the property. The proposed tower would be a steel monopole at 130' total height above ground level to replace one of the wooden monopoles.

Commissioner Russell asked if there are any structures on the property. Mr. Padalino indicated that he does not believe there are. Mr. Bruguere noted that the majority of the property is a hay field. Mr. Padalino further noted that the application materials shows the fall-zone setback. He showed excerpts from the Site Plan provided by the applicant that depicted the existing tower fall-zone setback and the proposed tower fall-zone setback area.

Mr. Padalino noted that the County received a set of revised drawings/plans (dated June 10, 2016) which address several review comments that he provided to the applicant after his initial review for application completeness. He explained that those revised plans were provided to the Commissioners at tonight's meeting for their subsequent review. He then provided a summary of those revisions as follows: the inclusion of a vegetative/landscaping buffer between the lease area/compound and Route 29; and a revision of the tower height from 132' to 130'.

Mr. Padalino concluded by discussing the various aspects of the review process, which includes a balloon test that is scheduled for Monday, June 27th; and the Planning Commission review and make a recommendation. He noted that a PC public hearing is optional for a Class C Communication Tower permits.

The Commissioners had the following questions/concerns/comments:

1. *Is the 130' inclusive of the antennas?* Mr. Padalino indicated that it is; the top of the tower would be 126' and the lightening rod would be at 130'.
2. *What is the lighting on the equipment shed at present (manual or motion sensitive)?* Mr. Padalino indicated that he was not sure.

Chair Proulx asked the applicant to address the Commission's questions, including questions about lighting.

Jessie Wilmer, SHENTEL: Ms. Wilmer noted that they do not have an equipment shelter but cabinets. Those cabinets have a small light on them that can be turned on when work is being performed.

3. *Will there be details of the proposed landscaping?* Ms. Wilmer noted that she can do that. They typically plant Leyland Cypress unless told otherwise.

4. *How tall are the trees and how far apart are they when planted?* Ms. Wilmer noted they are around 5' and are planted 10' on center, staggered. This could be shown on the plan if needed. She further noted that it is not landscaped now and the equipment on the ground is not changing.

Commissioner Russell noted that she is concerned with the proposed tower's height due to the fact that it is considerably higher than the existing tower. Ms. Wilmer noted that the tower was installed in 1999 as a wood pole; the life of a wood pole is about 20 years. The equipment on site has not changed since 1999 but technology has. The wood poles have deteriorated and are not able to handle the equipment that is required for the upgrades. She further noted that, "the height increase, while we were proposing to replace this site, we could do a steel pole, one-for-one replacement (administratively) like we have some of the other ones along 29. However, we looked at the coverage between this site and the site that we have right up on the mountain here at Lovington, and coverage gets pretty weak between those two sites. And if you look at the other carriers (I provided some maps to Tim earlier), AT&T and Verizon both have sites in the vicinity of this site and we're all at the same spot at Lovington on the mountain. But, AT&T and Verizon both have a site in between there; so they have one extra site to cover that stretch of road on 29. So by raising it 30', it will drastically improve coverage; and then we won't have to build another site with another road, and with another utility run within that space in between, like the other carriers have."

5. *Will you be able to accommodate any co-location?* Ms. Wilmer indicated that it will be able to accommodate other carriers. She also indicated that the lease area used to be a smaller area but now it is larger with the under-lying landlord to accommodate for other carriers to co-locate there as well.
6. *How reflective will the new tower be?* Ms. Wilmer indicated that they are proposing for the tower to be painted brown with flush-mount antennas.
7. *Is the site accessed off of Davis Creek Lane?* Ms. Wilmer indicated that the site is accessed off of Route 29 and it is an old road.
8. *Will a flag be at the site for the balloon testing?* Ms. Wilmer said that it would and that her vehicle would also be there. Commissioner Russell noted that the ad (legal notice) indicated that it would be flagged. She also believes that to be one of the requirements in the Z.O.
9. *Commissioner Russell, referencing Section 20-6-1 (Design Standards) – Item 2, noted that the distance from the exterior of the pole to the exterior of the antenna is limited to 12". She noted that the proposed equipment is 12" from the exterior of the pole to the back of the antenna, but the Z.O. uses language for the face of an antenna.* Ms. Wilmer noted that was correct, that the drawings show 12" distance from the pole to the back of the antenna. Ms. Wilmer added that Albemarle County recently amended their ordinance so that the 12" requirement relates to the distance between the exterior of the pole and the back of the antenna (not the face of the antenna). Commissioner Russell noted that she does not like that the ordinance states "existing structure" and will get with Mr. Padalino to discuss it further.
10. *Were the landowners notified of the balloon test?* Commissioner Russell noted that an ad was placed in the Daily Progress. It was also noted that the neighbors would be notified if a public hearing is held.

The Commissioners discussed whether or not to conduct the optional public hearing. Commissioner Goad and Mr. Bruguere thought it would be unnecessary since it is far away from homes and in an obsolete area. Commissioner Russell indicated that she would personally like to wait until the balloon test to render a decision. Chair Proulx noted that the BOS would have to hold a public hearing.

Commissioner Goad made the following motion:

I move to not hold a public hearing for Class C Communication Tower. Commissioner Harman provided the second; the vote 5-1 with Commissioner Russell voting against the motion.

Other Business:

Referral of Agricultural and Forestal District (AFD) Application #2016-01: Mr. Padalino noted this was an informal introduction of the application. The application is by Mr. Marc Chanin, a landowner on Greenfield Road.

This is a proposed addition to the existing Greenfield AFD. Mr. Padalino showed two maps that were provided by the applicants, showing the location of the two parcels being proposed for the addition.

Mr. Padalino then noted that the AFD Advisory Committee has scheduled a meeting on July 19th. He also noted that this is the same day as when the PC packets are mailed out, so a Staff Report with their recommendation would not be provided. However, one or more members from the AFD Advisory Committee have agreed to attend the July 27th PC meeting to provide a summary of their review, findings, and recommendations. He further noted that if the PC is comfortable with this approach, the July 27th PC meeting could include the introduction and recommendations from the Advisory Committee and also the public hearing portion of the application review. He asked if the PC would like to advertise for public hearing for next month's meeting, and if they had any questions regarding the application.

The Commissioners discussed the issue of having a public hearing, and did not have any problem with doing so. Mr. Padalino confirmed that it would be advertised for the July 27th meeting, and that he would verify that the AFD Advisory Committee would have someone in attendance for that meeting.

Mr. Bruguere asked if there was a minimum acreage requirement for AFD applications. Mr. Padalino noted that there is a minimum acreage for new AFD districts or new "cores" adjacent to existing districts. He further noted that if a parcel is adjoining or nearby an existing core, **than** then a proposed addition can include smaller parcels. He also noted that he would look more closely at that language, and if he finds anything noteworthy, he will include it in the Staff Report.

Mr. Bruguere asked if the two small parcels would be afforded land-use taxation if included in the Greenfield AFD? Mr. Padalino indicated that he believes they would be, but is not sure if they would be if they were outside of the AFD. He noted that he would check into this further.

Rockfish Valley Area Plan (RVAP): Mr. Padalino noted that a Rockfish Valley Area Plan Open House meeting is scheduled to take place on Tuesday, June 28th at the Rockfish Valley Community Center from 6:30-8:30PM. There will be one presentation given twice. There is a public survey that is available to gauge people's interest/concerns/priorities specific to the Rockfish Valley. Those are available online as well as in paper format.

Board of Supervisors Report: Mr. Bruguere provided the following details:

1. Mrs. Jackson's Special Use Permit application was approved.

Adjournment:

Commissioner Harman made a motion to adjourn at 8:04 pm; vote 6-0.

Respectfully submitted,

Stormy V. Hopkins
Secretary, Planning & Zoning



To: Planning Commission (PC) Members
From: Tim Padalino | Planning & Zoning Director, AFD Program Administrator
Date: July 14, 2016
Subject: **Public Hearing for Agricultural and Forestal District Application #2016-01
(Proposed Additions to Greenfield AFD / Mr. Marc Chanin)**

Summary of Application(s)	
<u>Site Address / Location:</u>	Greenfield / Afton / North District
<u>Tax Parcel(s):</u>	#13-10-1 (2.43 acres) and #13-10-3 (11.45 acres)
<u>Parcel Size:</u>	13.88 acres (total)
<u>Zoning:</u>	Agricultural (A-1)
<u>Applicants:</u>	Mr. Marc Chanin
<u>Request:</u>	Public hearing and PC review for AFD Application #2016-01, and PC recommendation to Board of Supervisors
▪ <i>Application Received On:</i> May 31, 2016	

On May 31st the Department of Planning & Zoning received an application from Mr. Marc Chanin requesting an expansion of the existing Greenfield Agricultural and Forestal District (AFD). Specifically, AFD #2016-01 proposes the addition of two parcels of record, totaling 13.88 acres, into the existing Greenfield AFD: Tax Map Parcel #13-10-1 (2.43 acres, zoned A-1) and Tax Map Parcel #13-10-3 (11.45 acres, zoned A-1). *Please see the enclosed application materials and maps.*

This application has been forwarded to the Advisory Committee for their review and recommendation to the Planning Commission, pursuant to Code of Nelson County Virginia, Chapter 9, Article V, Section 9-201. The AFD Advisory Committee will meet on Tuesday, July 19th, and will send one or more representatives to the Planning Commission meeting to provide a summary of their review and to convey the committee's formal recommendations prior to the PC conducting a public hearing.

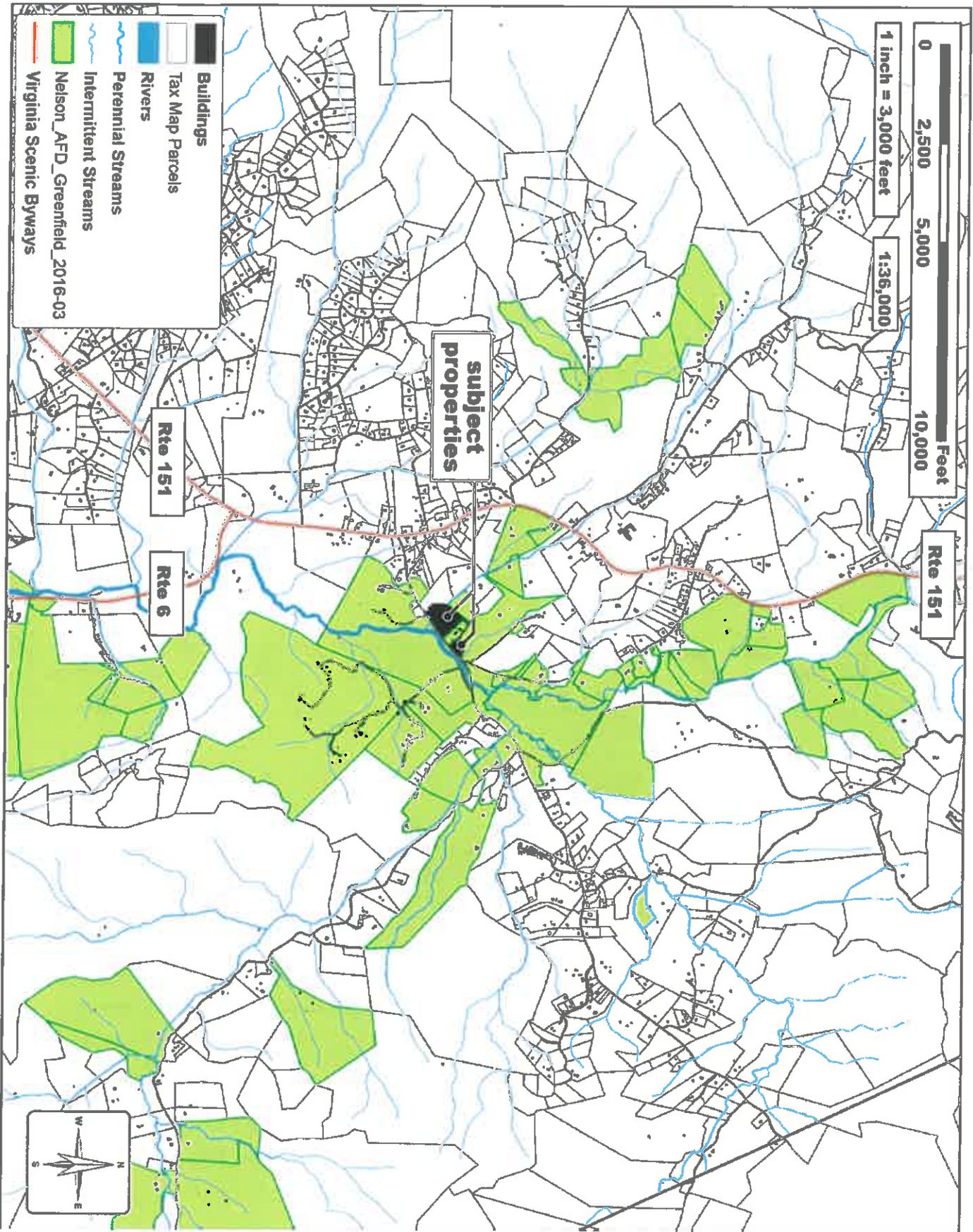
Planning & Zoning staff have completed all public notice requirements necessary to conduct this public hearing; and after conducting the hearing and reviewing the application, the PC may formally make their recommendations for the Board of Supervisors. The Board of Supervisors will then hold a public hearing on the application as provided by law, and, after such public hearing, may by ordinance add the proposed lands to the existing Greenfield AFD as applied for, or with any modifications it deems appropriate.

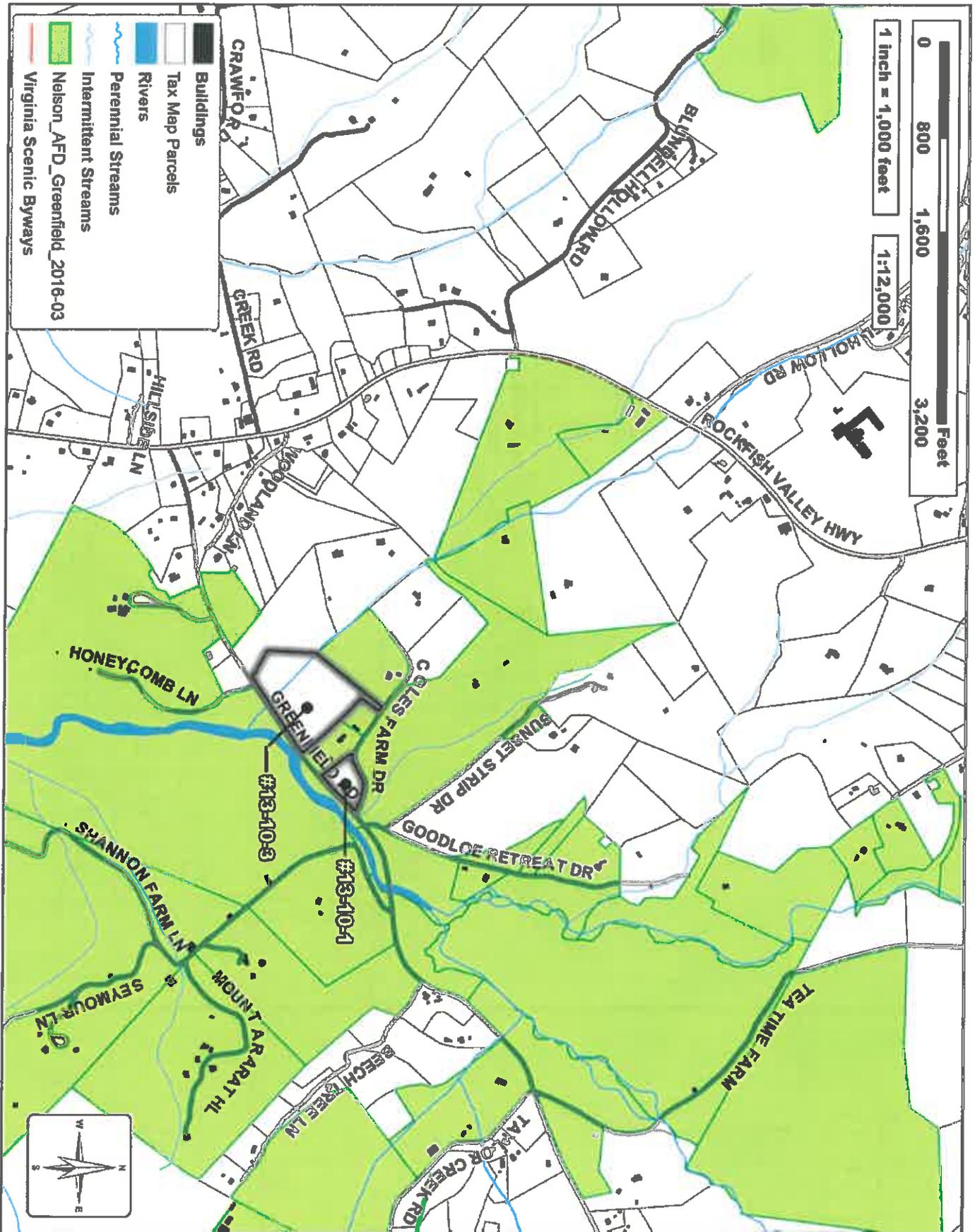
Please reference Section 9-201 "*Evaluation criteria*" for a list of factors to be considered by the Advisory Committee, Planning Commission, and Board of Supervisors when reviewing the application for AFD #2016-01, as follows:

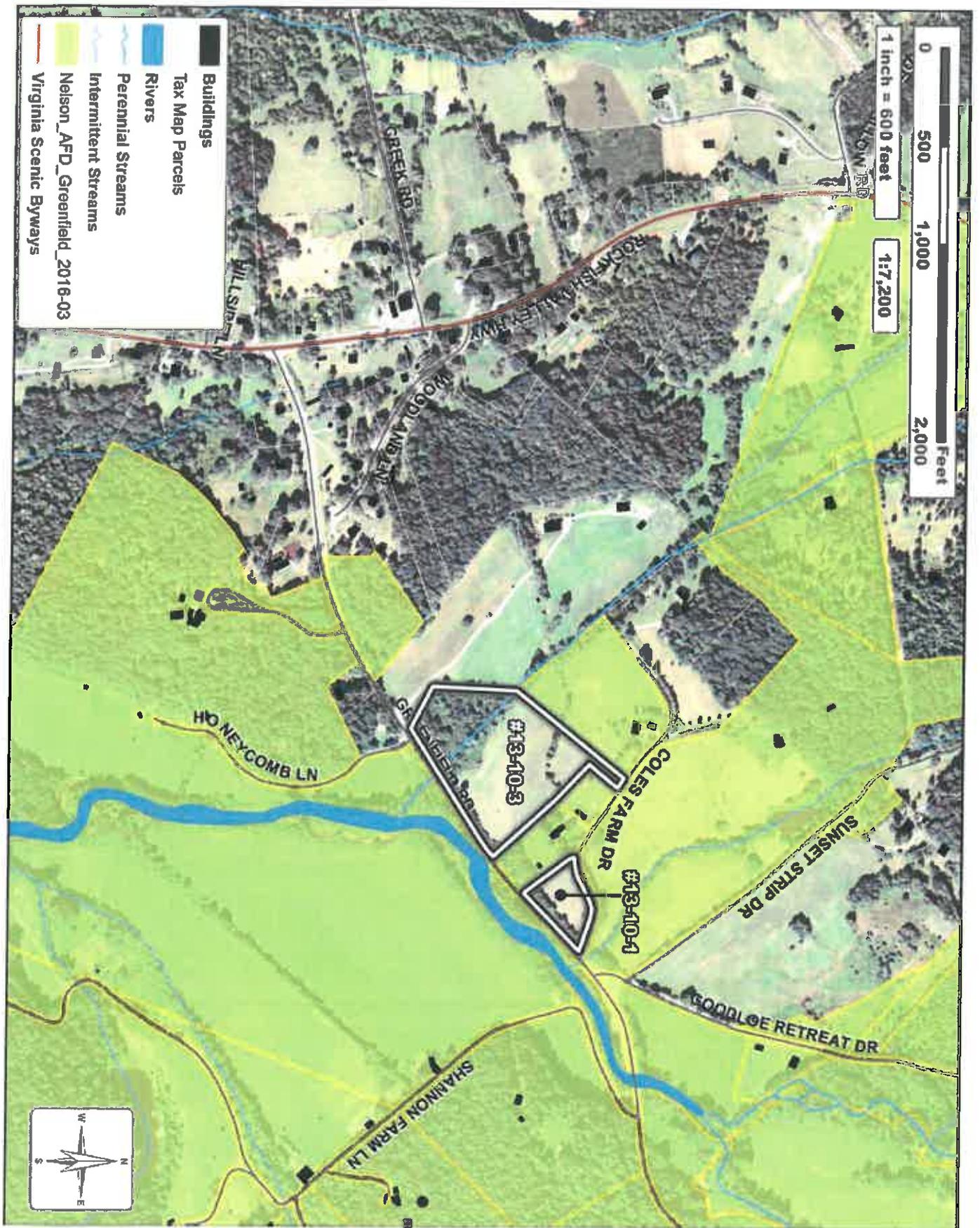
- a) *The agricultural and forestal significance of land within the district or addition and in areas adjacent thereto;*
- b) *The presence of any significant agricultural lands or significant forestal lands within the district and in areas adjacent thereto that are not now in active agricultural or forestal production;*
- c) *The nature and extent of land uses other than active farming or forestry within the district and in areas adjacent thereto;*
- d) *Local developmental patterns and needs;*
- e) *The comprehensive plan and, if applicable, zoning regulations;*
- f) *The environmental benefits of retaining the lands in the district for agricultural and forestal uses; and*
- g) *Any other matter which may be relevant.*

In judging the agricultural and forestal significance of land, any relevant agricultural or forestal maps may be considered, as well as soil, climate, topography, other natural factors, markets for agricultural and forestal products, the extent and nature of farm structures, the present status of agriculture and forestry, anticipated trends in agricultural economic conditions and such other factors as may be relevant.

In conclusion, please contact me with any questions, concerns, or requests for assistance leading up to the PC's application review and public hearing for AFD #2016-01. Thank you very much for your time and attention to this application.







Please publish Thurs. July 14 and Thurs. July 21 in The Nelson County Times:

**LEGAL NOTICE
NOTICE OF PUBLIC HEARING**

In accordance with Volume 3A, Title 15.2, Counties, Cities and Towns, of the Code of Virginia, 1950, as amended, and pursuant to §15.2-107, §15.2-2204, §15.2-2285, §15.2-2310, and §15.2-4307, the Nelson County Planning Commission hereby gives notice that a Public Hearing will start at 7:00 p.m., **Wednesday, July 27th** in the **General District Courtroom** on the third floor of the Nelson County Courthouse located at 84 Courthouse Square, Lovingson, for the following:

Public Hearings

1. Consideration of AFD Application #2016-01 to Expand Existing Greenfield Agricultural and Forestal District (AFD)

The purpose of said public hearing is for the Planning Commission to receive public input on one application requesting a voluntary expansion of the existing Greenfield AFD by 13.88 total acres, pursuant to Code of Nelson County, Virginia, Chapter 9 "Planning and Development," Article V, "Agricultural and Forestal Districts." The application requests inclusion of the following parcels to the Greenfield AFD:

Tax Map Parcel #13-10-1 – Marc Chanin – 2.43 acres (zoned A-1)

Tax Map Parcel #13-10-3 – Marc Chanin – 11.45 acres (zoned A-1)

Following the hearing, the Planning Commission may vote to forward this application to the Board of Supervisors (BOS) (with a recommendation for approval; a recommendation for approval with recommended conditions; or a recommendation for denial) for action by the Board. Prior to taking any vote to approve, modify, or reject this application, the BOS will also conduct a public hearing. A date for the public hearing by the BOS has not yet been determined.

Copies of the above files are available for review in the Dept. of Planning & Zoning office, 80 Front Street, Lovingson, Virginia, Monday through Friday, 9:00 a.m. to 5:00 p.m. Telephone inquiries may also be directed to the Dept. of Planning & Zoning, (434) 263-7090, or toll free at 888-662-9400, selections 4 and 1. Nelson County does not discriminate on the basis of handicapped status in admission or access to its programs and activities. Accommodation will be made for handicapped persons upon advance request.



DEPARTMENT OF
PLANNING & ZONING

PLANNING COMMISSION
BOARD OF ZONING APPEALS

July 11, 2016

Dear Property Owner:

The following petitions have been made to the Planning Commission (PC) and the Board of Supervisors (BOS) regarding a tract of land adjacent to or near property you own in Nelson County:

Consideration of AFD Application #2016-01 to Expand Existing Greenfield Agricultural and Forestal District (AFD)

The purpose of said public hearing is for the Planning Commission to receive public input on one application that has been submitted to the AFD program administrator pursuant to Code of Nelson County, Virginia, Chapter 9 "Planning and Development," Article V, "Agricultural and Forestal Districts." The application requests a voluntary addition to the existing Greenfield AFD by 13.88 total acres; the requested expansion would be comprised of the following parcels:

Tax Map Parcel #13-10-1 – Marc Chanin – 2.43 acres (zoned A-1)
Tax Map Parcel #13-10-3 – Marc Chanin – 11.45 acres (zoned A-1)

This application will be considered at a public hearing conducted by the PC on **Wednesday, July 27, 2016** beginning at 7:00 P.M. in the General District Courtroom on the third floor of the County Courthouse, Lovingsston. After the PC conducts a public hearing, they may vote to refer the application, with recommendations, to the BOS. Upon receipt of the PC's recommendation, the BOS will conduct a public hearing. The date for the BOS public hearing has not yet been scheduled. After conducting the hearing, the BOS may vote on the application to approve, deny, or approve with conditions.

As required by law, this notice is being sent to inform adjoining property owners of this request. If you wish to learn more about this request and/or to comment on it, you may contact and/or visit the Department of Planning & Zoning, where the application is on file and open to public inspection; and/or attend the public meeting(s).

Please also note that any owner of additional qualifying land may voluntarily join this AFD Application #2016-01 within thirty (30) days from the date of this notice, or, with the consent of the BOS, at any time before the public hearing the BOS must hold on this application. Please also note that any landowner who joined in this AFD Application #2016-01 may withdraw his land, in whole or in part, by written notice filed with the BOS, at any time before the BOS acts, pursuant to the Code of Virginia §15.2-4309. Please also note that additional qualifying lands may be added to an already created AFD at any time upon separate application pursuant to this chapter.

If you have any questions and/or requests for assistance, please contact County staff as we remain available to assist you.

(over)

FILE COPY

Sincerely,

Handwritten signature of Timothy M. Padalino in black ink.

Timothy M. Padalino
Nelson County Planning & Zoning Director

TMP/svh

Copy to: Mr. Marc Chanin

AFD Application #2016-01 to Expand Existing Greenfield AFD

Parcel ID	Owner Name	Mailing Address	City, State Zip
13-10-1; 13-10-3; 13-10-7	Marc J. Chanin	224 Coles Farm Drive	Afton, VA 22920
13-10-2	Thomas Michael & Jean Louise Mcconkey	117 Coles Farm Road	Afton, VA 22920
13-4-2	Shannon Farm Assn, Inc.	274 Shannon Farm Lane	Afton, VA 22920
13-10-4	Deborah Ann Harkrader	211 Coles Farm Drive	Afton, VA 22920
13-10-8	Robert O. & Susan H. Satterfield	425 Greenfield Road	Afton, VA 22920
13-A-17	James R. Campbell & Freda F. & Others	4006 Spring Valley Road	Afton, VA 22920

**APPLICATION FOR AN ADDITION TO AN AGRICULTURAL
AND FORESTAL DISTRICT**

This completed form and required maps shall be submitted by applicant landowners to the Nelson County Planning Department on or before June first of the calendar year in which the District is to be created. Included with the submission shall be a map or aerial photograph that clearly shows the boundaries of the District and the boundaries of each individual parcel that is to be included in the District.

TO BE COMPLETED BY APPLICANT

1. *Name of the District:* Greenfield Agricultural and Forestal District

2. *General Location of the District:* Centered along Greenfield Road (Rte 635) near Shannon Farm Lane (Rte 843), the original Greenfield Ag/Forestal District roughly follows the route of the North Fork of the Rockfish River starting near the intersection of Rte 151 and Pounding Branch Road (Rte 709), extending due south in a nearly continuous swath for approximately 5.1 miles, and ending just south of the river's North/South Fork confluence (near the intersection of Rte 6 and Hill Hollow Road/Rte 810). Additionally the District extends NW and SE to include properties flanking Rte 633 (Blundell Hollow and Taylor Creek Roads).

Current proposed addition to the Greenfield Ag/Forestal District is consists of two parcels that border Rte 151 and are contiguous on multiple sides with lands already in the District.

3. *Total Acreage in the District Addition:* 13.88 acres

4. *Landowners applying for the District:* Marc Chanin

5. *Designated Landowner Contact:* Marc Chanin, 224 Coles Farm Drive, Afton VA 22920
(434-361-1222)

6. *The Proposed Conditions to Creation of the District Pursuant to §15.2-4309 of the Code of Virginia:*

As a condition to creation of the district, the requirements stated in Section 9-202 of the Code of Nelson County will apply; in addition, the following conditions will also apply:

- a. No parcel within the District shall be developed to a use more intensive than that existing on the date of creation of the district, other than uses resulting in more intensive agricultural or forestal production;

b. Parcels of land within the District may only be subdivided by purchase or gift to immediate family members. However, subdivided parcels shall remain in the District for at least until the time of the next scheduled District renewal; and

c. Parcels of land within the District may be sold in their entirety to a non-family member during the term of the District. However, the parcel under new ownership shall remain in the District at least until the time of the next scheduled District renewal..

d. Membership in this AFD does not preclude building a home on land on which no structure exists, or construction of guest house, garage, workshop, barn or similar auxiliary structure as allowed by County Regulations.

7. *Proposed Period before First Review:* Approximately four years (in order to be in sync with review schedule for rest of Greenfield Ag/Forestal District).

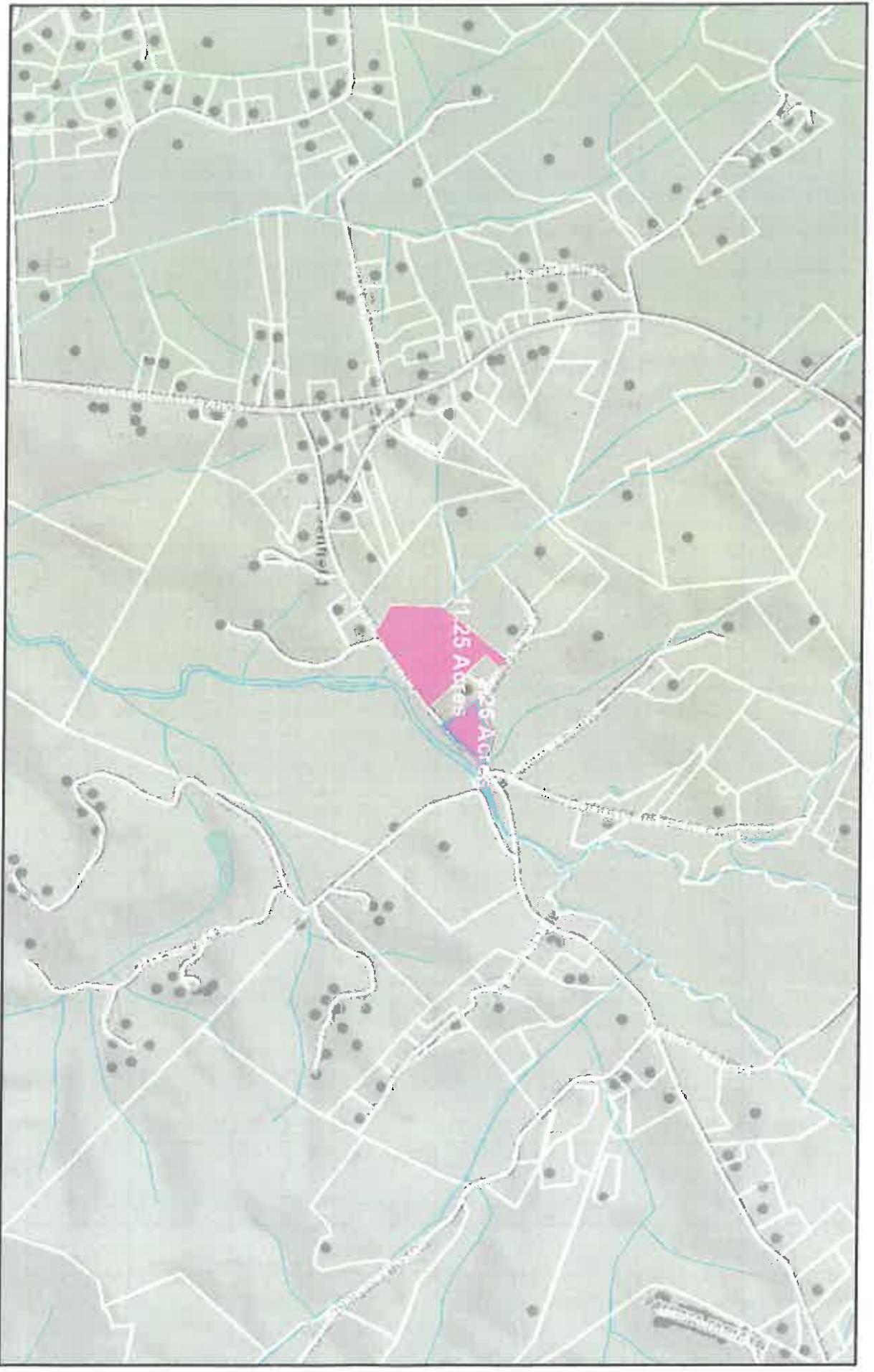
8. *The Date of Application:* 5/22/2016

SECTION B: TO BE COMPLETED BY LOCAL GOVERNING BODY

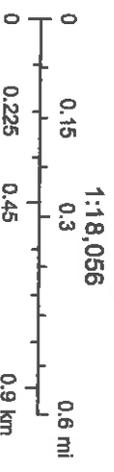
1. Date submitted to the Board of Supervisors:
2. Date referred to the Planning Commission:
3. Date referred to the Advisory Committee:
4. Date of action by the Board of Supervisors:

Approved ___ Modified ___ Rejected ___

Chanin Addition

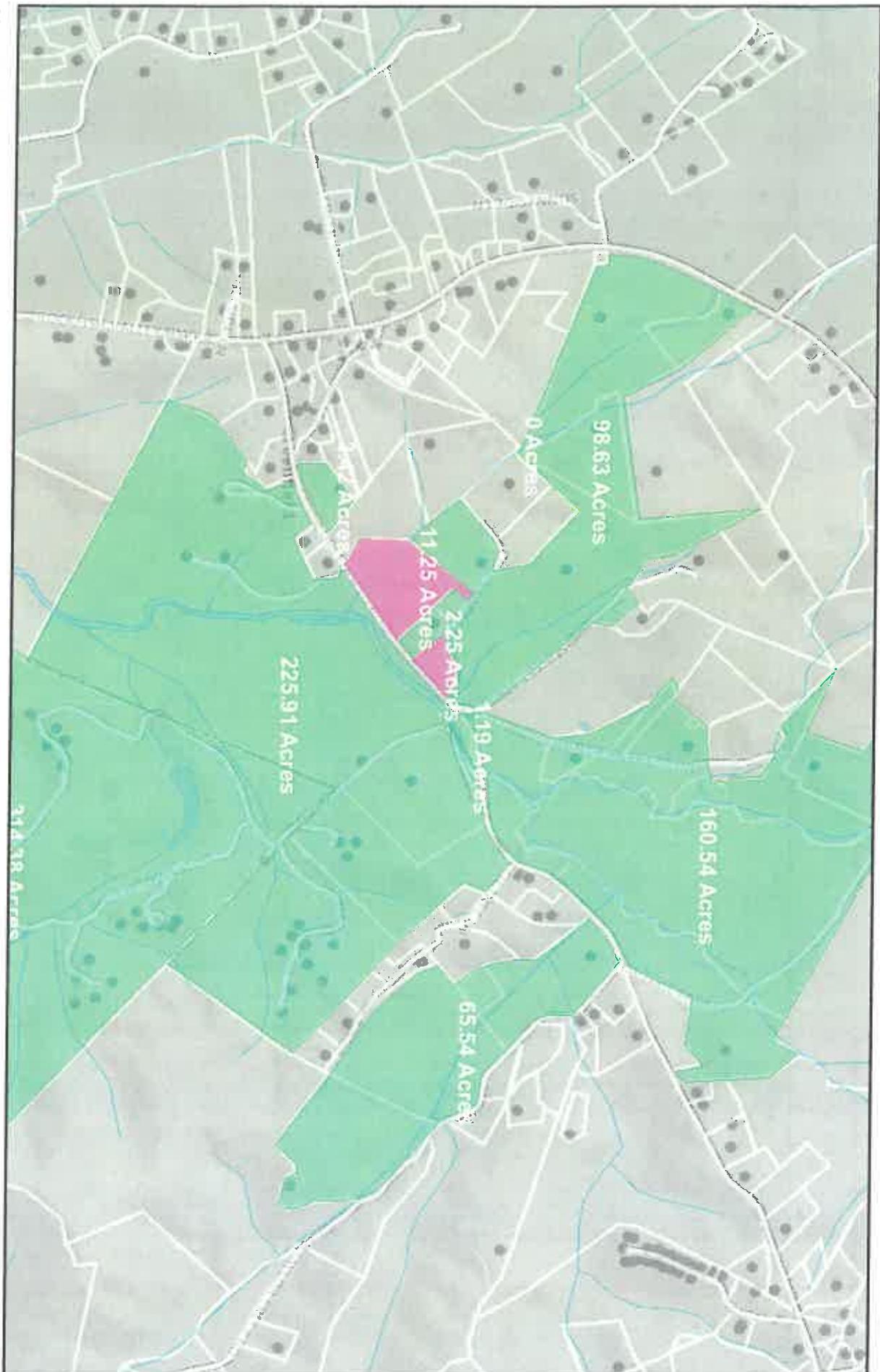


May 22, 2016

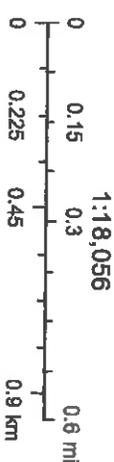


Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp.,
NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand),

Chanin Addition In Context

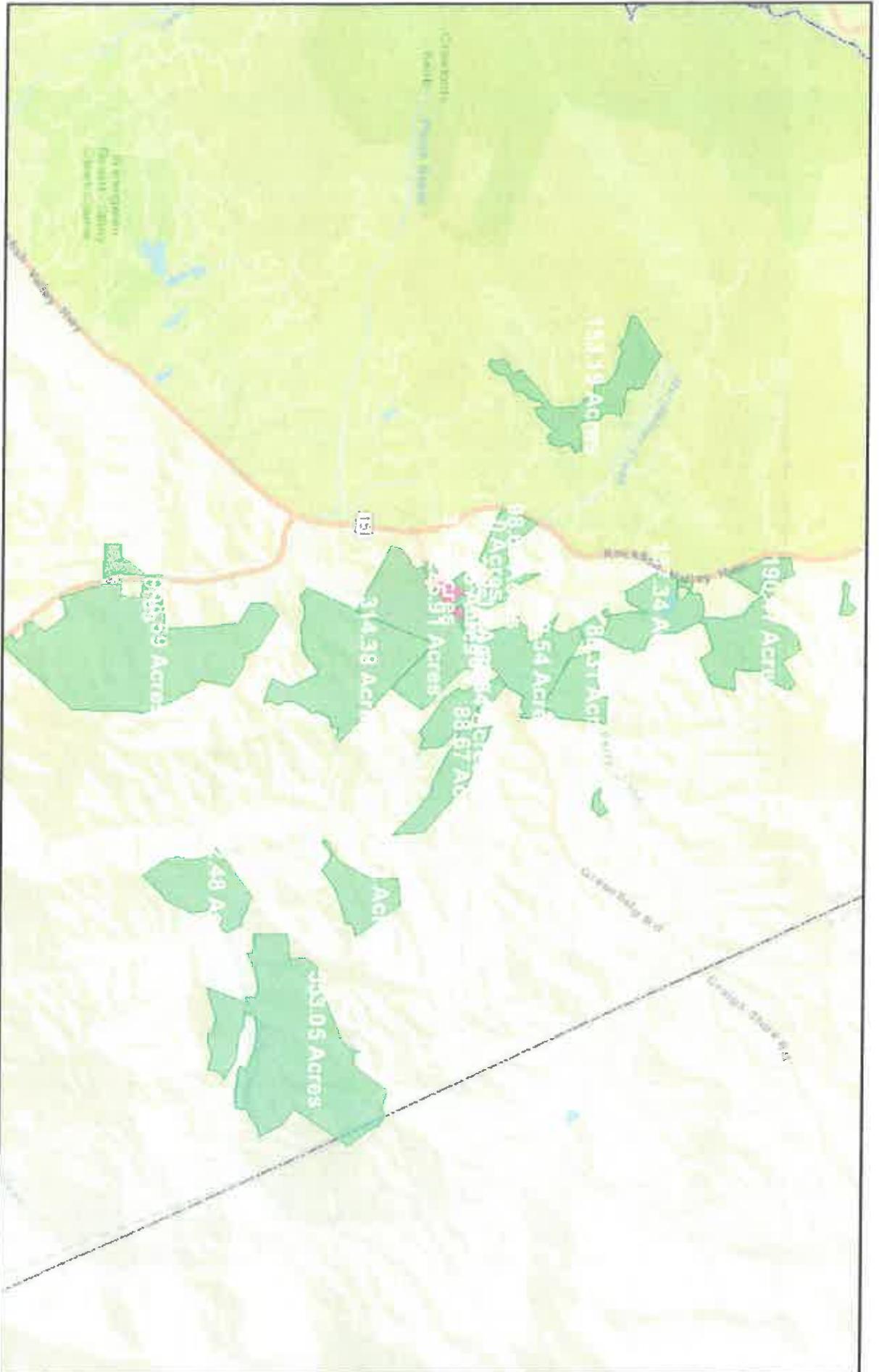


May 22, 2016

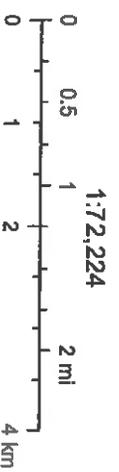


Sources: Esri, HERE, DeLorme, USGS, Intermap, Increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand),

AFD 3



May 22, 2016



Source: Esri, HERE, DeLorme, USGS, Imagery, Intermap, iPC, NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand).

5/24/16

Tim,

Here is the application from Marc Chanin to add ~~to~~ two more of his parcels to the Greenfield Ag/Forestral District.

I tried to make the maps using the new Nelson GIS system, but couldn't get the acreage to "turn off" when the maps actually printed. Sorry!

Please let me know if this application is adequate or if you need me to do something else.

Thanks so much for all your help on this and other important County issues.

Joyce Burton

434-260-0569



DEPARTMENT OF
PLANNING & ZONING

PLANNING COMMISSION
BOARD OF ZONING APPEALS

To: Chair and Members, Nelson County Planning Commission
From: Tim Padalino | Planning & Zoning Director
Date: July 15, 2016
Subject: Review of Class C Communication Tower Permit #2016-08 (Shentel)

Application Summary

Site Address / Location:	West side of Route 29 / Lovingson / East District
Tax Parcel(s):	#45-A-40 ... <i>(Please reference the attached maps)</i>
Parcel Size:	159.97 acres (total)
Zoning:	Agricultural (A-1)
Applicant:	Ms. Jessie Wilmer, Site Acquisition Specialist, Shentel
Property Owner:	Bridgwater, William L ii Trustee
Request:	Review and PC recommendation to BOS regarding proposed 130' (Class C) monopole to replace existing 97.5' wood tower
<ul style="list-style-type: none">• <i>Application received on May 17, 2016</i>• <i>Balloon test conducted on Monday, June 27</i>	

Subject Property Location, Characteristics, and Other Information:

The approximately 160-acre subject property is located on the west side and the east side of Thomas Nelson Highway; is zoned Agricultural (A-1); and is currently in agricultural use (hay) and is partially forested. The proposed monopole would be located on a knoll on the west side of the highway, at a site which currently contains two existing communication towers. That site is identified as "CV221 Polly Wright [Cove]." *Please reference the enclosed maps.*

Site Plan Review and Comments:

The Planning & Zoning Director conducted a preliminary review of the Tower Permit application and Site Plan drawings (dated May 9), and provided written review comments to the applicant on May 27. Those comments addressed specific issues regarding tower height and design requirements; required information about alternative sites; and balloon test requirements.

The applicant responded by having revised drawings prepared and resubmitted, and also by

submitting additional information which identified the locations of existing facilities between Woods Mill and Lovington (variously operated by Shentel – formerly Sprint; AT&T; and Verizon). The applicant also coordinated with County staff (and by extension, the Planning Commission) to conduct a balloon test; advertised the required legal notice for the balloon test on June 17 in the Daily Progress; and conducted the balloon test on Monday, June 27.

One remaining Site Plan review comment which is not adequately addressed in the revised drawings (dated June 10) is the requirement contained in Z.O. 20-12-C-7, which requires identification of all trees and specifically the identification and notation of which existing trees will be “adversely impacted or removed during installation and maintenance.” During the balloon test (see below), the applicant noted that one mature canopy tree will need to be completely removed, and one adjacent mature canopy tree will need to be substantially pruned (one or more of the main trunks would be removed).

Balloon Test:

I met the applicant at the subject property on the morning of June 27. We initially drove up the hill to the lease area, reviewed the existing conditions, and discussed in detail which trees would need to be removed. We also discussed the consistent breeziness and intermittent wind gusts which were substantially affecting the balloon test: the balloon was flying vertically up to the height of the trees (approximately 90-95’), but beyond that height it was being blown horizontally over the crown of the trees. This prevented an accurate depiction of the height of the proposed tower. I estimate that 30-35% of the tower height was not being represented due to atmospheric conditions (see below).



Photograph showing balloon (red) flying only a short height above the existing 97.5’ high wood tower, which would be replaced by the proposed 130’ steel monopole. The red balloon is being blown to the northwest, almost horizontally over the crowns of the trees which are adjacent to the lease area.

I then drove around the vicinity and tried to evaluate the balloon location and height from multiple right-of-ways – including Thomas Nelson Highway, Myndus Road, Stagebridge Road, and Davis Creek Lane. It appeared that the proposed tower would protrude above the existing adjacent

woodlot and be visible from a number of perspectives throughout that vicinity; but it was difficult to determine with accuracy, due to the effect of the wind on the balloon.

Staff Review and Recommendation:

The evaluation of a proposed communication tower requires analysis of the (predicted) improved coverage and the (expected) visual impacts.

Review of (expected) visual impacts:

- The facility would be designed to create minimize visual impacts, such as being painted a matte brown finish and having flush mounted equipment (assembled with a maximum distance of 12” between the outer face of pole and the rear surface of the equipment).
- However, the facility would still create significant visual impacts due to the site’s prominence above the surrounding terrain and highway, as well as the tower’s height relative to the adjacent woodlot.
 - The proposed steel monopole would be higher than the existing wood tower by 32.5’ (a proposed 1/3 increase in overall height).
 - The proposed steel monopole would be higher than the other existing facilities in the vicinity (between Woods Mill and Lovington). At the June 22nd PC meeting, the applicant noted that this Class C Tower Permit application represents an attempt to expand coverage with one tall tower (maximum allowable height) instead of expanding coverage using two smaller towers; the applicant also noted that other service providers have two smaller towers in this vicinity to achieve their coverage objectives.

Review of (predicted) increase in coverage:

- Using the coverage maps provided by the applicant, it appears that coverage would be increased, but that the increase would not be very significant.
 - Specifically, it appears the proposed tower would improve in-vehicle coverage along the Route 29 right-of-way from “poor” to “good” – but only in a small area on the west side of the highway (south of Creekview Lane).
 - Notably, the predicted coverage from the proposed monopole would leave a substantial stretch of the Route 29 right-of-way (including the Fortune Lane, Stagebridge Road, and Orchard Park Lane) as having the same “poor in-vehicle coverage” as exists currently.

Recommendation:

The Planning & Zoning Director does not recommend approval of this Class C Communication Tower Permit.

In addition to the evaluations detailed above, I provide this recommendation based on an evaluation of the application relative to the following items in the Tower Ordinance:

- **Z.O. 20-13-E: Alternative Site(s):** No new Class C Communication Tower shall be permitted unless the applicant demonstrates to the reasonable satisfaction of the Board of Supervisors that
 - 1.) No commercially reasonable co-location alternatives fulfill the applicant’s desired coverage...
 - *The applicant has not demonstrated that Shentel’s coverage objectives cannot be met by co-locating their equipment on one or more of the existing facilities between Woods Mill and Lovington.*

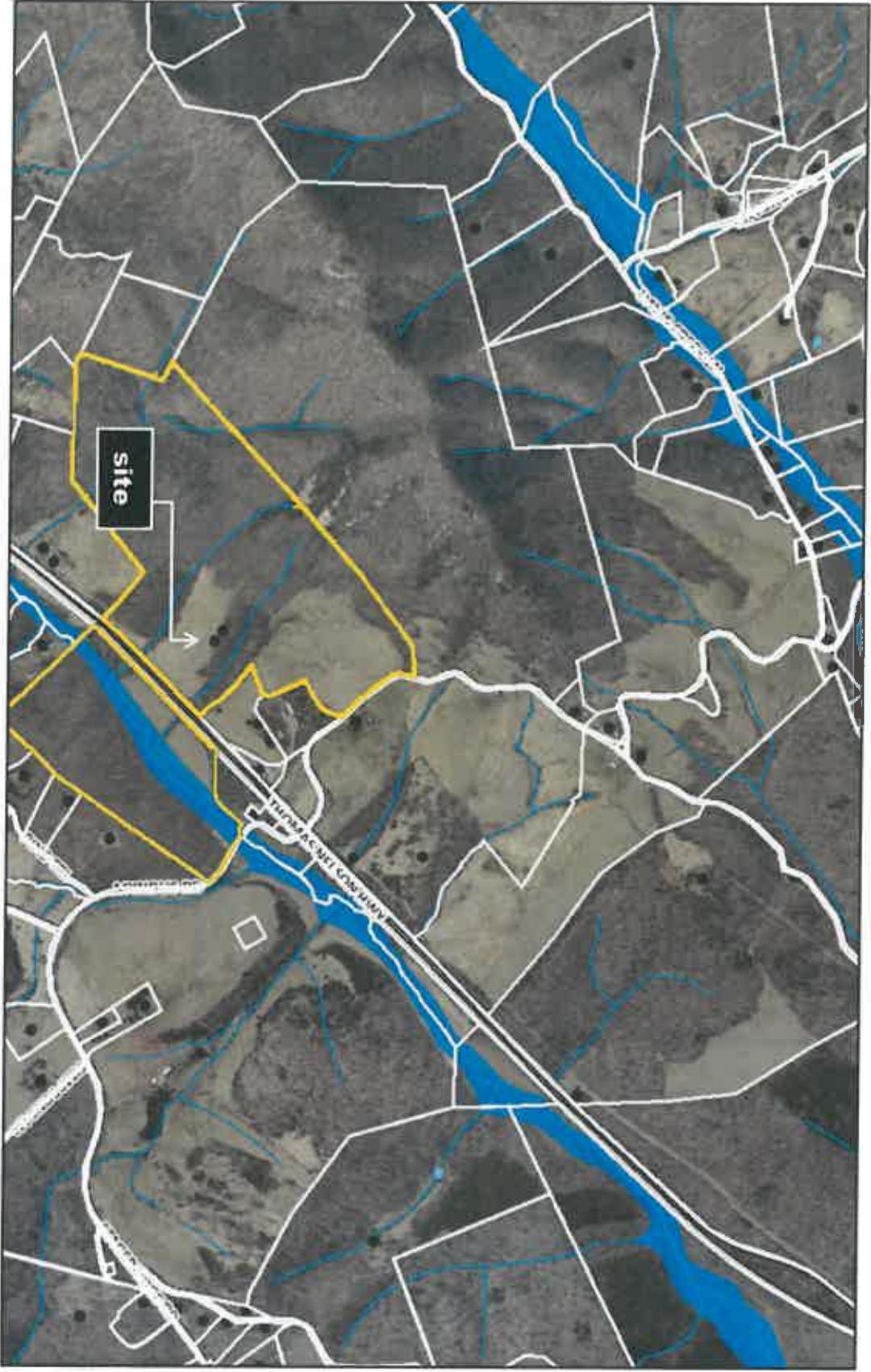
- **Z.O. 20-13-F: Factors considered in granting a Class C Communication Tower permit:** The following factors shall be used in determining whether to issue a Class C Communication Tower Permit:
 - 2. Nature of the uses on adjacent and nearby properties, surrounding topography, surrounding tree coverage and foliage, design of the tower or pole, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness;
 - *The tower design is favorable with regards to color and mounting format; but the tower height seems to create visual impacts (which are significant) that seem excessive in proportion to the improvement in coverage (which is limited).*
 - 5. Consistency with the Comprehensive Plan and the purposes set forth in Section 20-2;
 - *The tower design and location create concerns relative to the Purpose established in Z.O. 20-2-6: “Restrict the location of communication towers that adversely impact the natural beauty of the mountains in Nelson County.”*
 - 7. The results of the balloon test and subsequent photo simulations for compliance with the purposes as set forth in Section 20-2.
 - *As noted above, the balloon test results seem inconclusive and did not accurately represent the total height of the proposed 130’ Class C monopole tower, due to atmospheric conditions on the day of the test.*

Conclusion:

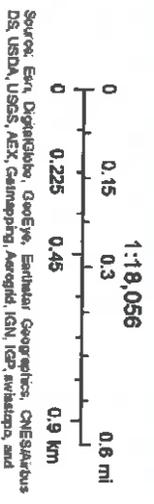
After the PC review of the application for Class C Tower Permit #2016-08, the Commission will need to formally make a recommendation to the Board of Supervisors (BOS), who will then conduct a properly-advertise public hearing on the application and subsequently vote to approve, deny, or approve with modifications or conditions. A date has not been set for the BOS review or public hearing for this application.

Please contact me with any questions, concerns, or requests for assistance leading up to the July 27th Planning Commission review of Tower Permit #2016-08 for the proposed Class C tower (steel monopole) at site CV221. Thank you very much for your time and attention to this application.

CV221 Vicinity



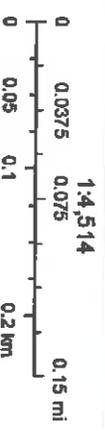
June 22, 2016



CV221 Site



June 22, 2016



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Geomatics, Aergrid, IGN, IGP, swisstopo, and



May 12, 2016

Nelson County Planning & Zoning Department
Attn: Tim Padalino
80 Front Street
Lovingsston, VA 22949

**RE: SHENTEL Class C Communications Tower Application
CV221 Polly Wright – 12979 Thomas Nelson Highway, Lovingsston, VA**

Dear Mr. Padalino;

Virginia PCS Alliance, L.C., formerly NTELOS, ('SHENTEL') requests the consideration of Nelson County for Class C Communication Tower Permit for a personal wireless service facility located on property owned by William L. Bridgewater, described as tax parcel 45-A-40 and zoned A-1. The wireless service facility is located at 127 Davis Creek Lane, Lovingsston, VA.

SHENTEL is in the process of enhancing its existing 3G voice and data network by replacing old network equipment with 4G/LTE (Long Term Evolution) equipment that will provide improved call performance, expanded coverage, faster downloads and stronger indoor signals. The current 3G voice and data network utilizes the 1900 MHz spectrum only. The SHENTEL 4G/LTE upgrades will use a tri-band system that will: 1) repurpose old Nextel spectrum (800 MHz spectrum) for increased coverage and better in-building coverage, 2) use Clearwire spectrum (2.5 GHz spectrum) for increased data capacity and 3) continue to use the existing Sprint/SHENTEL spectrum (1900 MHz spectrum). By using this tri-band system, Sprint customers will have LTE enhancement, improved call quality and diverse data capacity. In addition to upgrading our current network of sites, SHENTEL is also adding sites to increase capacity in saturated areas.

SHENTEL is requesting a Class C Communications Tower Permit Application to replace the current wood pole with a steel monopole tower. SHENTEL (formerly CFW and NTELOS) built this wood pole tower and associated wireless equipment in 1999 and subsequently sold the tower to GrainComm I, LLC in 2015, but leased back space from Grain on the tower. The current wood pole tower was approved by Special Use Permit for a wood pole tower 10' above the tree line and associated ground equipment. With this proposal, SHENTEL is proposing to replace the existing 97.5' wood pole tower with a new 130' steel monopole within the ground compound area. The new steel monopole will be painted dark brown (Sherwin Williams – Umbra) and will have flush mounted tower equipment. At the proposed location within the existing ground compound, the new monopole tower will meet the 110% setback for monopoles. Grain will continue to be the owner of the monopole and SHENTEL will lease back space on the tower and ground once the tower is replaced.

SHENTEL has (3) panel antennas located at 93' radiation center (flush mounted) on the wood pole with an equipment platform for base station equipment on the ground. With this proposal, SHENTEL is proposing (3) tri-band panel antennas at the 127' radiation center that will support multiple spectrum capabilities for 4G/LTE services and (6) remote radio head amplifiers at the 123' and 121' radiation

- centers on the tower. SHENTEL is proposing to upgrade its base station equipment on the equipment platform on the ground.

Attached are photo simulations of the proposed Class C 130' steel monopole from the north and south vantage points along Rt. 29 (Thomas Nelson Highway). SHENTEL will conduct a balloon test at your request. Also, attached are propagation maps depicting the existing coverage at 97.5' vs. 130' heights. With the increased height, SHENTEL will significantly improve the current drop call area to the south on Rt. 29 (Thomas Nelson Highway) between this site and its site at Lovington (CV150). Increasing the height minimally will solidify coverage and not require SHENTEL to propose an additional site in between CV221 and CV150 along Rt. 29. The additional height will also allow another carrier to collocate on this pole in the future.

A Phase I ESA / NEPA report has been requested. The VDHR response will be sent to you upon its receipt. The proposed site is further than (1) air mile from the Blue Ridge Parkway and Appalachian National Scenic Trail.

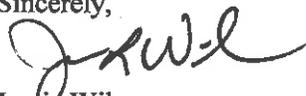
The proposed equipment upgrade by SHENTEL is compatible with the existing character of the existing wireless facility and the upgrade will have minimal visual impact on the surrounding area than its current scenario. This proposal will deliver a much improved customer communications experience and will serve the public health and safety needs to the community by providing increased wireless voice capabilities and improved high speed data services to this area of Nelson County.

I look forward to receiving your comments regarding this proposal. Please send any comments and/or approvals to:

SHENTEL
ATTN: Jessie Wilmer
1150 Shenandoah Village Drive
Waynesboro, VA 22980

Please feel free to contact me if you need additional information.

Sincerely,



Jessie Wilmer
SHENTEL
Site Acquisition Specialist
(540) 241-5060
jessica.wilmer@emp.shentel.com



PERMIT APPLICATION:

Nelson County Department of Planning & Zoning

TO THE ZONING ADMINISTRATOR: Class C Comm. Tower # 2016-02
application type application number

1. The undersigned hereby petitions the Planning Commission and/or Board of Supervisors for approval of the following (check appropriate box):

- | | |
|---|--|
| <input type="checkbox"/> Rezoning from _____ to _____ | <input type="checkbox"/> Conditional Rezoning from _____ to _____ |
| <input type="checkbox"/> Subdivision – Preliminary | <input type="checkbox"/> Site Plan – Preliminary (optional) |
| <input type="checkbox"/> Subdivision – Final | <input type="checkbox"/> Site Plan – Final |
| <input type="checkbox"/> Major Site Plan | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Other: <u>Class C Communication Tower</u> |
- Pursuant to Article 20, Section 13 of the Nelson County Zoning Ordinance.
 Pursuant to Section _____, Subsection _____ of the Nelson County Subdivision Ordinance.

Reason(s) for request: Replacement of an existing 97.5' wood pole tower with a 130' steel monopole (flush mounted antennas - painted brown) with associated ground equipment

(Please use reverse or attach additional sheet if more space is needed.)

2. Applicant(s) and Property Owner(s):

(Please provide names of applicants and property owners and indicate applicable title; if applicant is not the property owner, please show relationship, i.e. lessee, contract purchaser, etc.)

Applicant Property Owner Name: Virginia PCS Alliance, L.C. (Shentel)
Mailing Address: 1150 Shenandoah Village Drive Waynesboro, Va 22980
Telephone # 540-241-5060 E-mail Address: Jessica.Wilmer@comp.shentel.com
Relationship (if applicable): LESSEE

Applicant Property Owner Name: _____
Mailing Address: _____
Telephone # _____ E-mail Address: _____
Relationship (if applicable): _____

(Please attach additional sheet if more space is needed for applicant(s) / property owner(s) info.)

3. Location and Characteristics of Subject Property:

a. Address of property (specific location, route numbers, street names, voting district, etc.):

12979 Thomas Nelson Highway, Lovingson

b. Official tax map number: 45-A-40

c. Acreage of property: 159.97 ac

d. Present use: Telecom

e. Present zoning classification: A-1

f. Zoning classification of surrounding properties: A-1

4. Names of Adjacent Property Owners: see attached

5. **Affidavit:** The undersigned applicant(s) and/or property owner(s) certifies that this application and the foregoing answers, statements, and other information herewith submitted are, in all respects, true and correct to the best of their knowledge and belief. Also, the applicant(s) and/or property owner(s) gives permission for members of the Planning Commission, Board of Supervisors, and County Staff to visit and view the subject property.

Signature: Jessica L. Wilmer

Printed Name: Jessica L. Wilmer

Signature: _____

Printed Name: _____

(Please attach additional sheet if more space is needed for applicant(s) / property owner(s) signatures.)

** see attached lease agreement*

6. **Additional information:** *(Please attach separate sheet for additional details, explanations, etc.)*

7. **Please note:** In the event of cancellation or postponement at your request after the initial newspaper advertisement for this application, an additional fee will apply for re-advertisement (determined by the actual cost of the ad). This fee will not apply in cases of Planning Commission or Board of Supervisors deferment.

***** TO BE COMPLETED BY PLANNING & ZONING STAFF *****

o Completed application and fee (\$ 2,000.00) received on 5-17-16

o Hearing Notice published on N/A

o Planning Commission action: Date of Meeting / Hearing: July 27, 2016

Recommendation: _____

o Board of Supervisors action: Date of Hearing: _____ Date of Decision: _____

Action: _____

Adjoining Land Owners - Tax Parcel 45-A-40

Address	Owner	Parcel ID	Sale Date	Sale Price	Map Number	Insert Number	Double Circle	Block	Lot	Sublot
112 Anderson Lane	Tressler Ronald & Louise	45 A 39	10/24/2002	\$67,500	45	N/A	A	N/A	39	N/A
12802 Thomas Nelson Hwy	Bridgwater William L II Trustee	45 A 32	10/19/2014	\$0	45	N/A	A	N/A	32	N/A
127 Davis Creek Lane	Thompson Cynthia A & Johathan	45 A 51	5/29/2006	\$0	45	N/A	A	N/A	51	N/A
	Bridgwater William L II Trustee	45 A 34	10/19/2014	\$0	45	N/A	A	N/A	34	N/A
	Bridgwater William L II Trustee	45 A 35	10/19/2014	\$0	45	N/A	A	N/A	35	N/A
	Tressler Ronald & Louise	45 A 39a	N/A	\$0	45	N/A	A	N/A	39	A
12689 Thomas Nelson Hwy	Pierce William F & Elizabeth A	45 A 41	7/5/2005	\$0	45	N/A	A	N/A	41	N/A
12689 Thomas Nelson Hwy	Pierce William F & Elizabeth A	45 A 41	7/5/2005	\$0	45	N/A	A	N/A	41	N/A
12689 Thomas Nelson Hwy	Pierce William F & Elizabeth A	45 A 41	7/5/2005	\$0	45	N/A	A	N/A	41	N/A
537 Pine Trail	Belber Jeanine P &	45 A 53	12/20/2006	\$0	45	N/A	A	N/A	53	N/A
	Evans Russell L Jr	45 A 37	12/27/2011	\$0	45	N/A	A	N/A	37	N/A
831 Pine Trail	Oikonomides Panteleimon	45 A 54	8/1/2005	\$157,000	45	N/A	A	N/A	54	N/A
699 Pine Trail	Freitag-kirolady Heidi C &	45 A 54a	2/27/2014	\$0	45	N/A	A	N/A	54	A
N/A	N/A	45 A 5	N/A	N/A	45	N/A	A	N/A	5	N/A
N/A	N/A	45 A 4	N/A	N/A	45	N/A	A	N/A	4	N/A

DEPARTMENT
OF PLANNING



PLANNING COMMISSION
BOARD OF ZONING APPEALS

April 15, 1999

CFW Wireless
c/o Kevin Arnold
1150 Shenandoah Village Drive
Waynesboro, VA 22980

Dear Mr. Arnold:

The purpose of this letter is to inform you that on April 13, 1999, the Nelson County Board of Supervisors approved your request for a special use permit to construct an eighty (80) foot wooden pole for a PCS antenna with equipment cabinets located on the west side of Davis Creek Lane, also identified as Tax Map #45 (A), Parcel 40 with the following conditions:

1. The total height of the pole including antenna is not more than ten (10) feet above the tree line.
2. The equipment cabinets are to be painted a dark color to blend in with the natural environment. Color is to be approved by the Planning Director.
3. If the tower is not used for one (1) year, all the equipment including the pole will be removed within ninety (90) days.

If you have any questions on the Board's decision, please feel free to contact me.

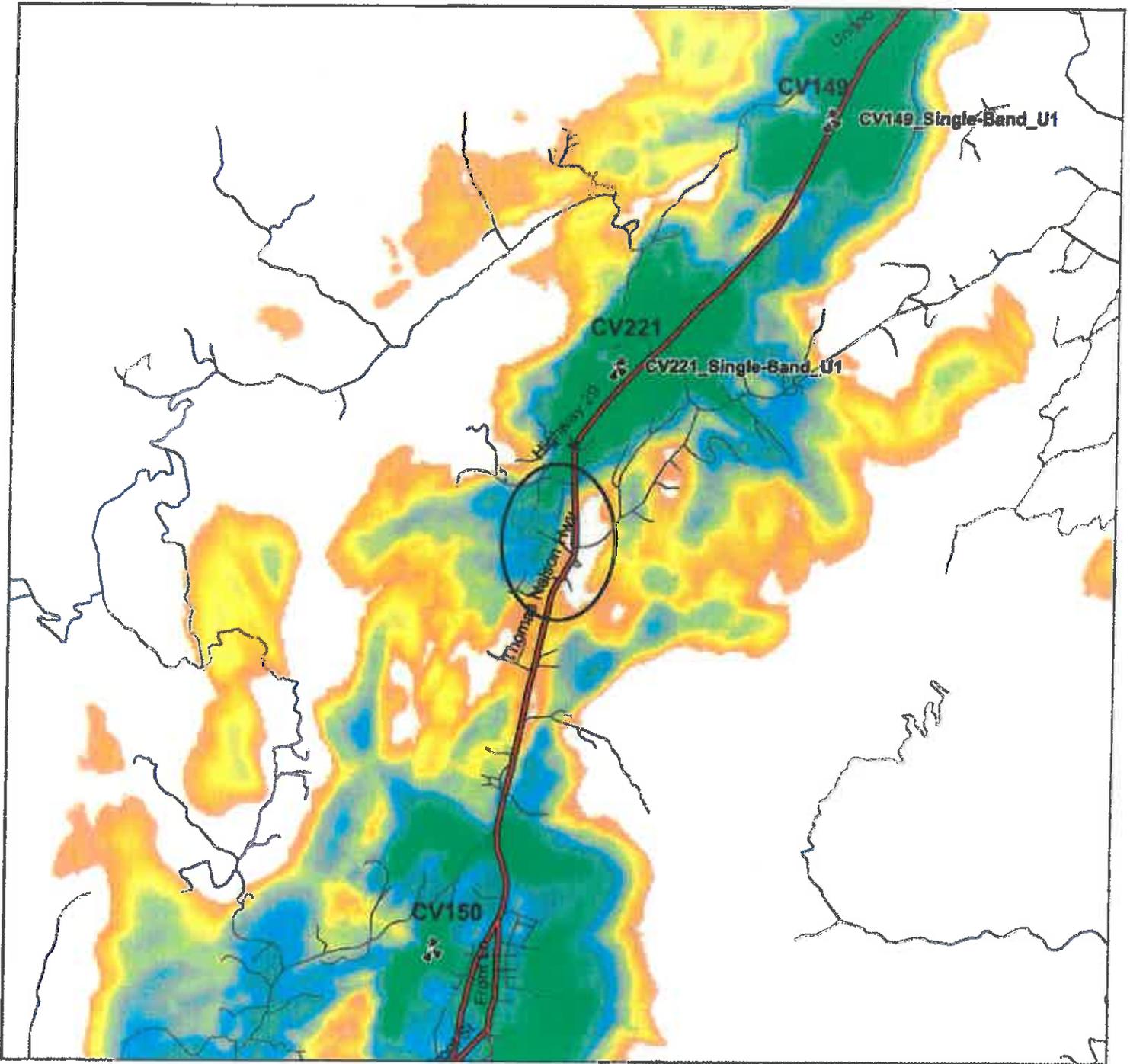
Sincerely,

A handwritten signature in cursive script that reads 'Fred M. Boger'.

Fred M. Boger
Planning Director

FB/efk

CV221 97' existing coverage prediction



Good In-building coverage \geq -76dbm



Poor In-vehicle coverage \geq -106dbm



Poor In-building coverage \geq -86dbm

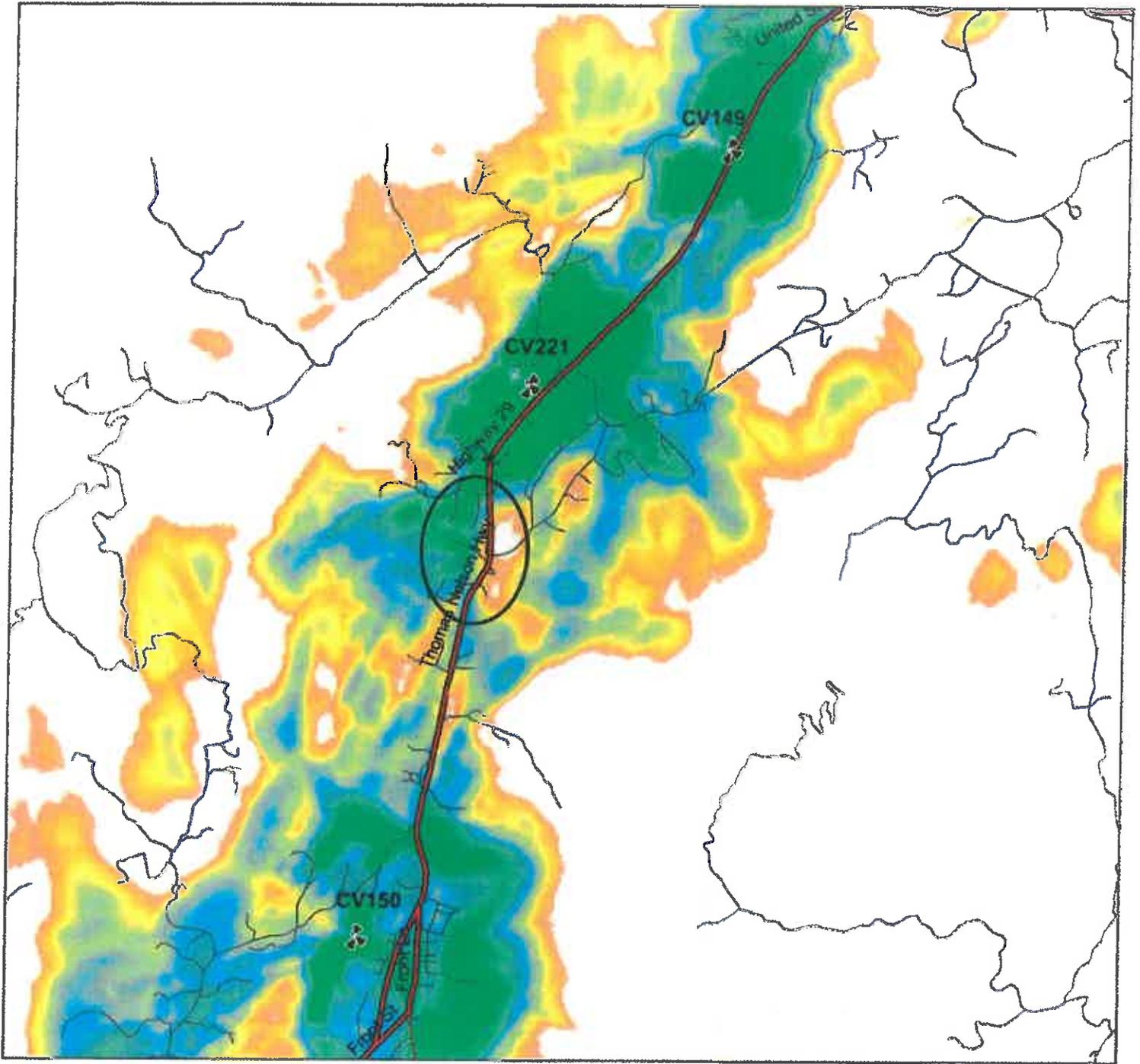


No coverage



Good In-vehicle coverage \geq -96dbm

CV221 127' proposed coverage prediction



Good In-building coverage ≥ -76 dbm



Poor In-vehicle coverage ≥ -106 dbm



Poor In-building coverage ≥ -86 dbm

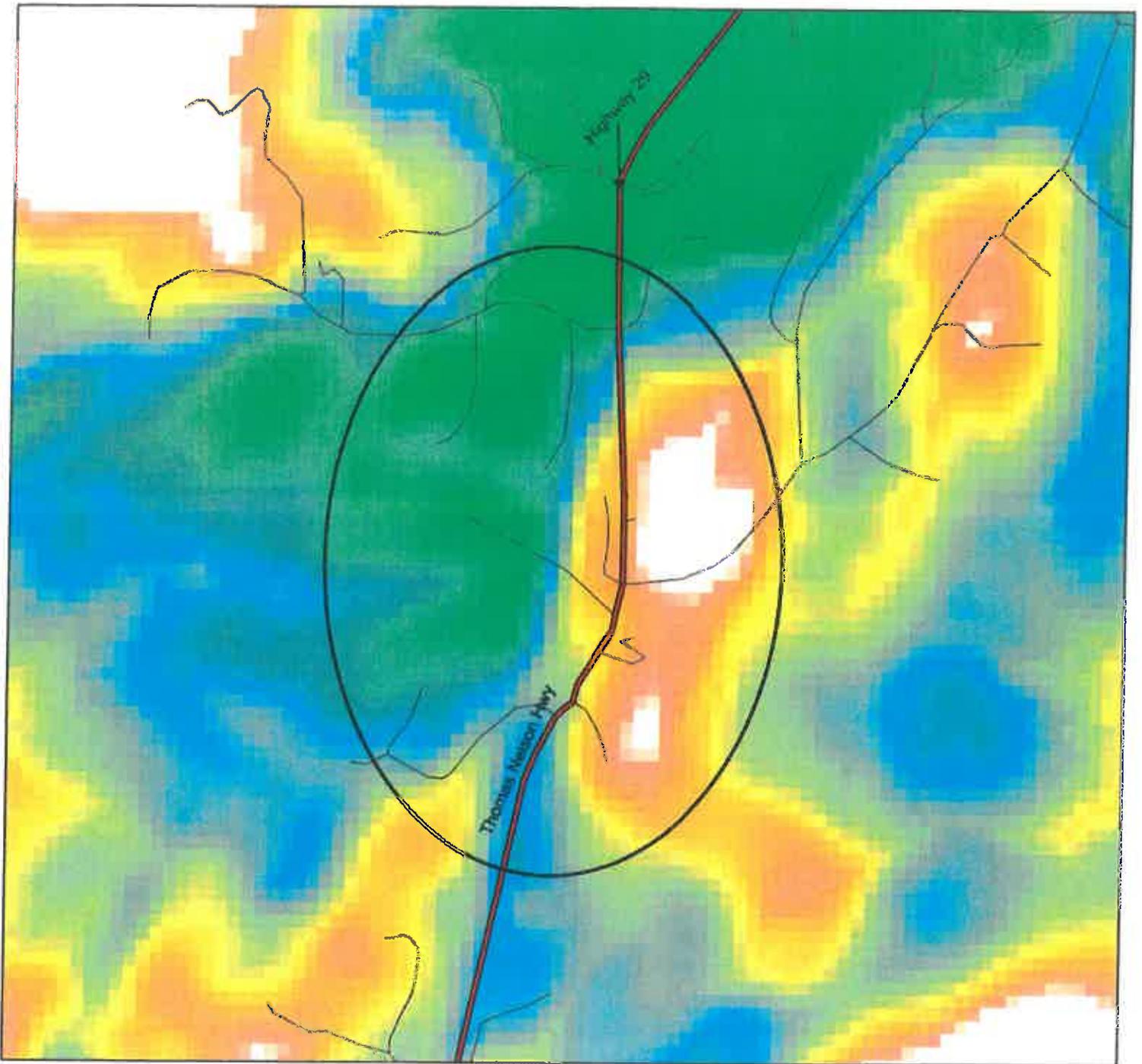


No coverage



Good In-vehicle coverage ≥ -96 dbm

CV221 127' proposed coverage prediction



Good In-building coverage \geq -76dbm



Poor In-building coverage \geq -86dbm



Good In-vehicle coverage \geq -96dbm



Poor In-vehicle coverage \geq -106dbm



No coverage

**Legal Notice advertisement for Balloon Tests being conducted pursuant to
Nelson County Zoning Ordinance 20-13-D**

Please publish no later than June 20, 2016 in Nelson County Times and The Daily Progress:

**LEGAL NOTICE
NOTICE OF BALLOON TEST FOR PROPOSED COMMUNICATION TOWER**

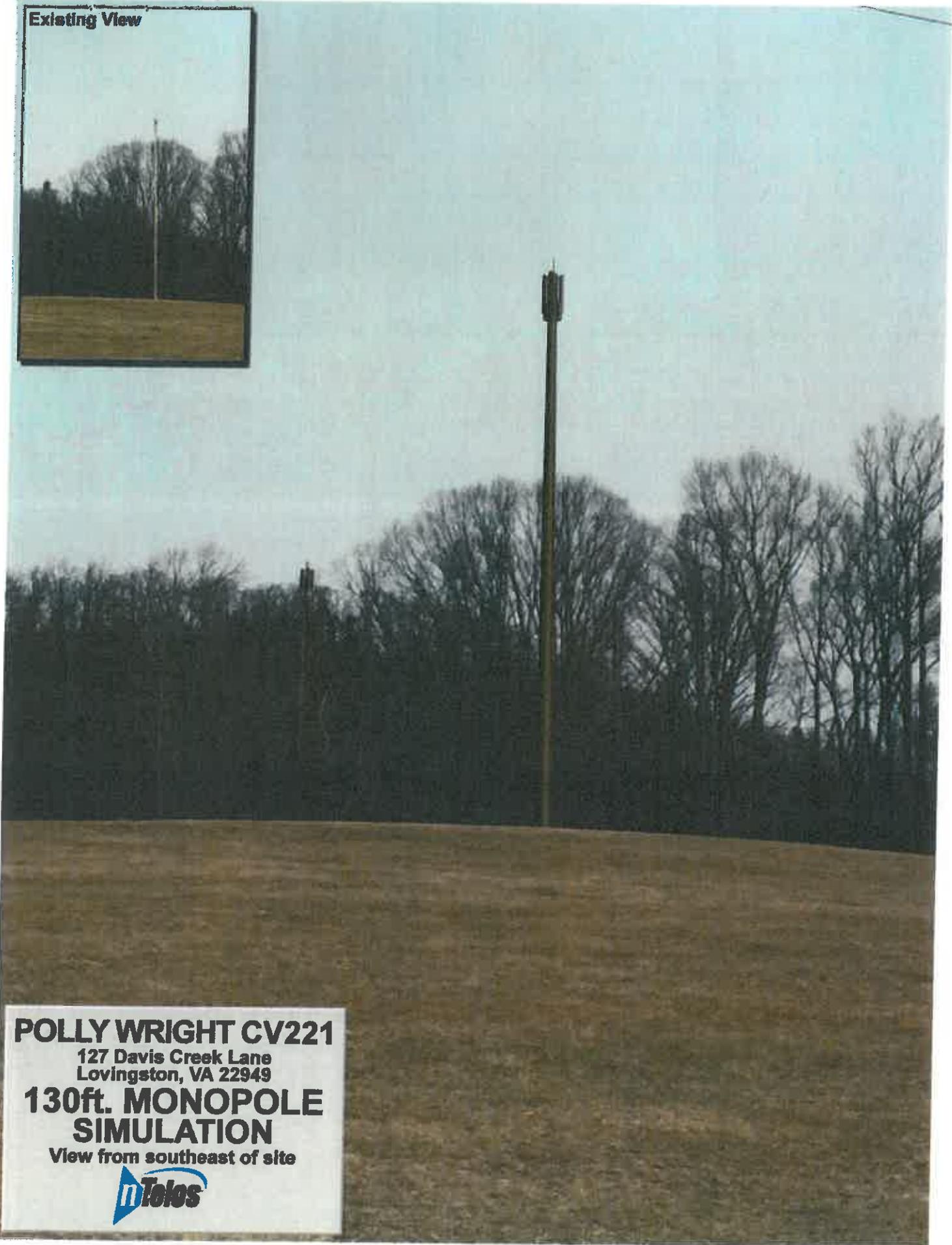
This legal notice is to inform members of the public that a “balloon test” will be conducted on *Monday June 27, 2016*, from approximately *9:00 a.m.* to approximately *11:00 a.m.*, at *12979 Thomas Nelson Highway, Lovingsston, Virginia located on the west side of Route 29, south of Davis Creek Lane on Nelson County Tax Parcel 45-A-40.*

This balloon test is being conducted in connection with an application for a Communication Tower Permit that was recently received by the Nelson County Department of Planning & Zoning. Specifically, *Virginia PCS Alliance, L.C. (Shentel/Sprint)* is requesting County approval for to *a replace an existing 97.5 ft. wood pole personal wireless service facility with a proposed 130 ft. monopole for 4G/LTE voice and data services.* As required by Ordinance, the balloon test will consist of raising one or more balloons from the proposed site to a height equal to the proposed tower; and the location of the access road, the lease area, and the site of the proposed tower will be surveyed and staked or flagged in the field prior to the balloon test.

This notice is being published, and the balloon test is being conducted, by the applicant as required per Zoning Ordinance Article 20 “Communication Tower Ordinance,” Section 13-D “Balloon Test.”

For more information about this Communication Tower Permit application, the file is available for public inspection at the Department of Planning & Zoning, 80 Front Street, Lovingsston, Virginia, Monday through Friday, 9:00 a.m. to 5:00 p.m. Accommodation will be made for handicapped persons upon advance request. Telephone inquiries may also be directed to the Department of Planning & Zoning, (434) 263-7090, or toll free at 888-662-9400, selections 4 and 1.

Existing View



POLLY WRIGHT CV221

127 Davis Creek Lane
Lovington, VA 22949

**130ft. MONOPOLE
SIMULATION**

View from southeast of site



Existing View



POLLY WRIGHT CV221

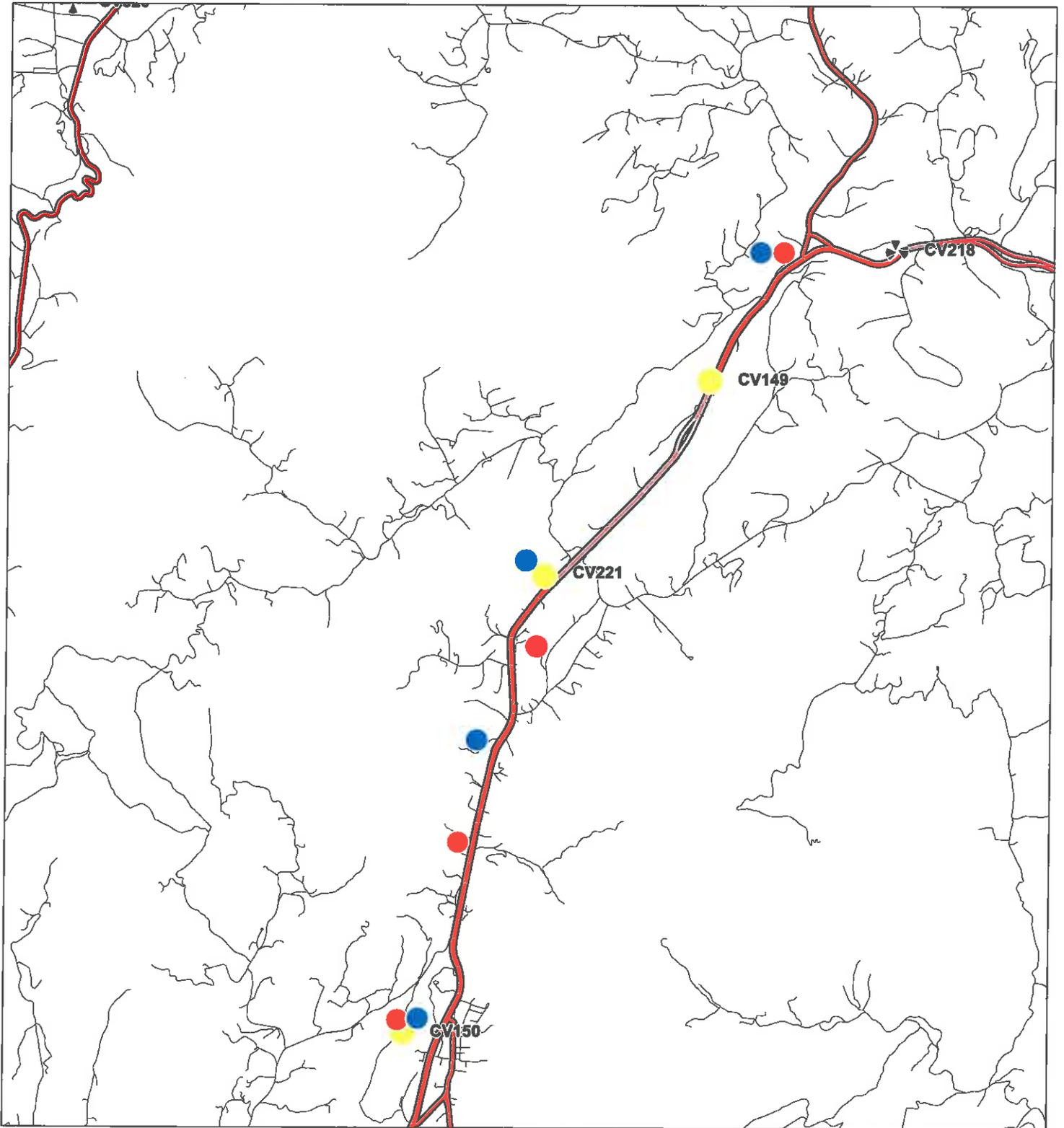
127 Davis Creek Lane
Lovington, VA 22949

**130ft. MONOPOLE
SIMULATION**

View from south of site



Sprint (Shentel), AT&T and Verizon Wireless - Comparison Map on Rt. 29



- AT&T
- Verizon Wireless
- Sprint

** These are approximate locations



Always connected to you

POLLY WRIGHT
CV221
GRAIN#2046-VA-002501

127 DAVIS CREEK LN
LOVINGSTON, VA 22949

TOWER & EQUIPMENT REPLACEMENT
ON EXISTING SITE



SITE NAME: POLLY WRIGHT

SITE NUMBER: CV221

SITE ADDRESS:
127 DAVIS CREEK LN
LOVINGSTON, VA 22949

AREA: LEASE AREA =120 SQ. FT.

PROPERTY OWNER:
WILLIAM L. BRIDGEWATER
2820 STAGEBRIDGE ROAD
LOVINGSTON, VA 22949

COUNTY: NELSON COUNTY

LATITUDE: N37° 48' 42.70"

LONGITUDE: W78° 51' 27.97"

NO.	REVISION/ISSUE	DATE
1	ZONING DRAWINGS	4/29/16
2	FCD'S	6/10/16



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FAX 434.295.8317
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37452

TG PROJECT # 37452

TITLE SHEET
SHEET T-1

PROPERTY OWNER: _____

SHENTEL RF ENGINEER: _____

SHENTEL CONSTRUCTION MANAGER: _____

SHENTEL OPERATIONS MANAGER: _____

SITE ACQUISITION MANAGER: _____

SIGNATURE (REQUIRED BY DEPARTMENTS) DATE

SIGNATURE BLOCK

SITE NAME
POLLY WRIGHT

SITE NUMBER
CV221

SITE ADDRESS
127 DAVIS CREEK LN
LOVINGSTON, VA 22949

PROPERTY OWNER
WILLIAM L. BRIDGEWATER
2820 STAGEBRIDGE ROAD
LOVINGSTON, VA 22949

TOWER OWNER
GRAINCOMM LLC
100 N. WASHINGTON BLVD SUITE 201
SARASOTA, FL 34236

SITE DATA
NAD 83 LATITUDE - N37° 48' 42.70"
NAD 83 LONGITUDE - W78° 51' 27.97"
ELEVATION - 754.30' (NAVD 88)

LEASE AREA
400 SF (GRAIN) - 120 SF (SHENTEL)

JURISDICTION
NELSON COUNTY

CONTACTS
SHENTEL (CONSTRUCTION)
BEN PIERCE
(804) 218-5474 - PHONE
(540) 943-0705 - FAX

SHENTEL (LEASING)
DEBBIE BALSER
(540) 941-4220 EXT. 3071- PHONE
(540) 941-4106 - FAX

SHEET	TITLE
T-1	TITLE SHEET
C-1	OVERALL SITE PLAN
C-2	EXISTING SITE PLAN
C-3	SITE LAYOUT PLAN
C-4	TREE SURVEY
C-5	TOWER ELEVATION
C-6	ANTENNA CABLE ROUTING
C-7	EQUIPMENT PLATFORM PLAN
D-1	POWER & TELEPHONE SINGLE LINE DIAGRAM
D-2	MISCELLANEOUS DETAILS
D-3	MISCELLANEOUS DETAILS
D-4	GENERAL NOTES

SHEET INDEX

POLICE/FIRE/RESCUE
911

ELECTRIC POWER
CVEC
CONTACT: CUSTOMER SERVICE
PHONE#: 800-367-2832

TELEPHONE
CENTURYLINK
CONTACT: CUSTOMER SERVICE
PHONE#: 877-837-5738

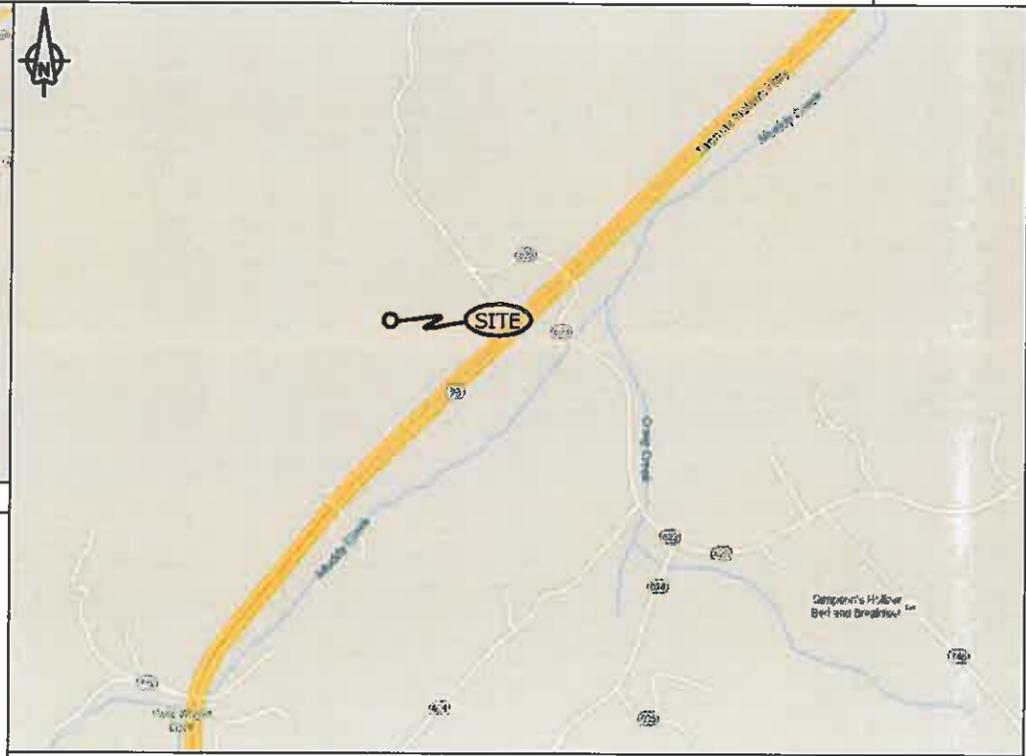
SHENTEL NOC
(540) 566-9568 - PHONE

EMERGENCY AND UTILITY CONTACTS

CURRENT DIVISION (PLANNER) DATE



AREA MAP



VICINITY MAP

SITE DIRECTIONS
FROM CHARLOTTESVILLE, VA TAKE I-64W. TAKE EXIT 118A TO MERGE ONTO US-29 TOWARD LYNCHBURG. CONTINUE 25 MILES THEN TURN RIGHT ONTO STATE RTE 623. SITE WILL BE ON YOUR LEFT.

TOWER REPLACEMENT AND EQUIPMENT SWAP OUT ON EXISTING TOWER SITE

PROJECT DESCRIPTION

DIRECTIONS TO SITE

PROJECT INFORMATION

SIGNATURE PANEL

NORTH MERIDIAN REFERENCED TO VA
STATE PLANE COORDINATE SYSTEM
SOUTH ZONE (NAD83)



SITE NAME: POLLY WRIGHT

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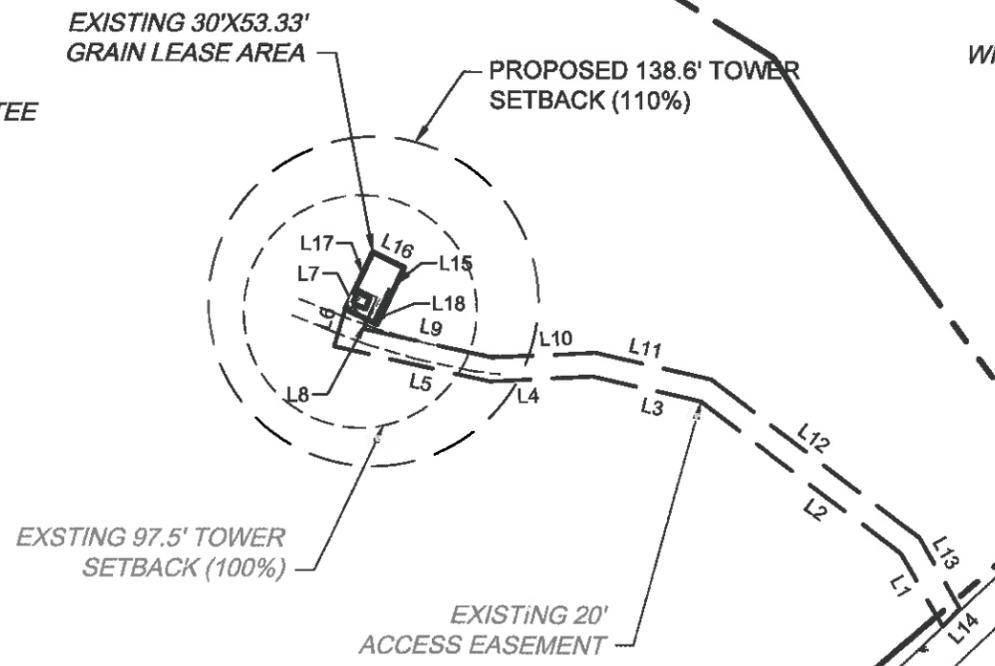
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OVERALL SITE PLAN SHEET
C-1

LINE	LENGTH	BEARING
L1	70.80	N29°55'57"W
L2	213.42	N52°57'05"W
L3	94.05	N77°09'25"W
L4	87.88	S87°07'09"W
L5	135.19	N77°25'27"W
L6	32.95	N16°33'12"E
L7	20.26	S84°17'48"E
L8	8.29	S17°00'53"W
L9	111.11	S77°25'27"E
L10	87.93	N87°07'09"E
L11	101.10	S77°09'25"E
L12	221.79	S52°57'05"E
L13	68.88	S29°55'57"E
L14	20.88	S43°23'22"W
L15	53.33	S25°42'12"W
L16	30.00	S84°17'48"E
L17	53.33	N25°42'12"E
L18	30.00	N64°17'48"W

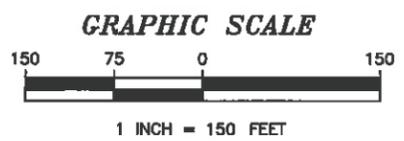


THOMAS NELSON HWY

N/F
WILLIAM L BRIDGEWATER TRUSTEE
PARCEL: 45 A 40

N/F
WILLIAM L BRIDGEWATER TRUSTEE
PARCEL: 45 A 35

N/F
WILLIAM L BRIDGEWATER TRUSTEE
PARCEL: 45 A 34



NORTH MERIDIAN REFERENCED TO VA
STATE PLANE COORDINATE SYSTEM
SOUTH ZONE (NAD83)



SITE NAME: POLLY WRIGHT

SITE NUMBER: CV221

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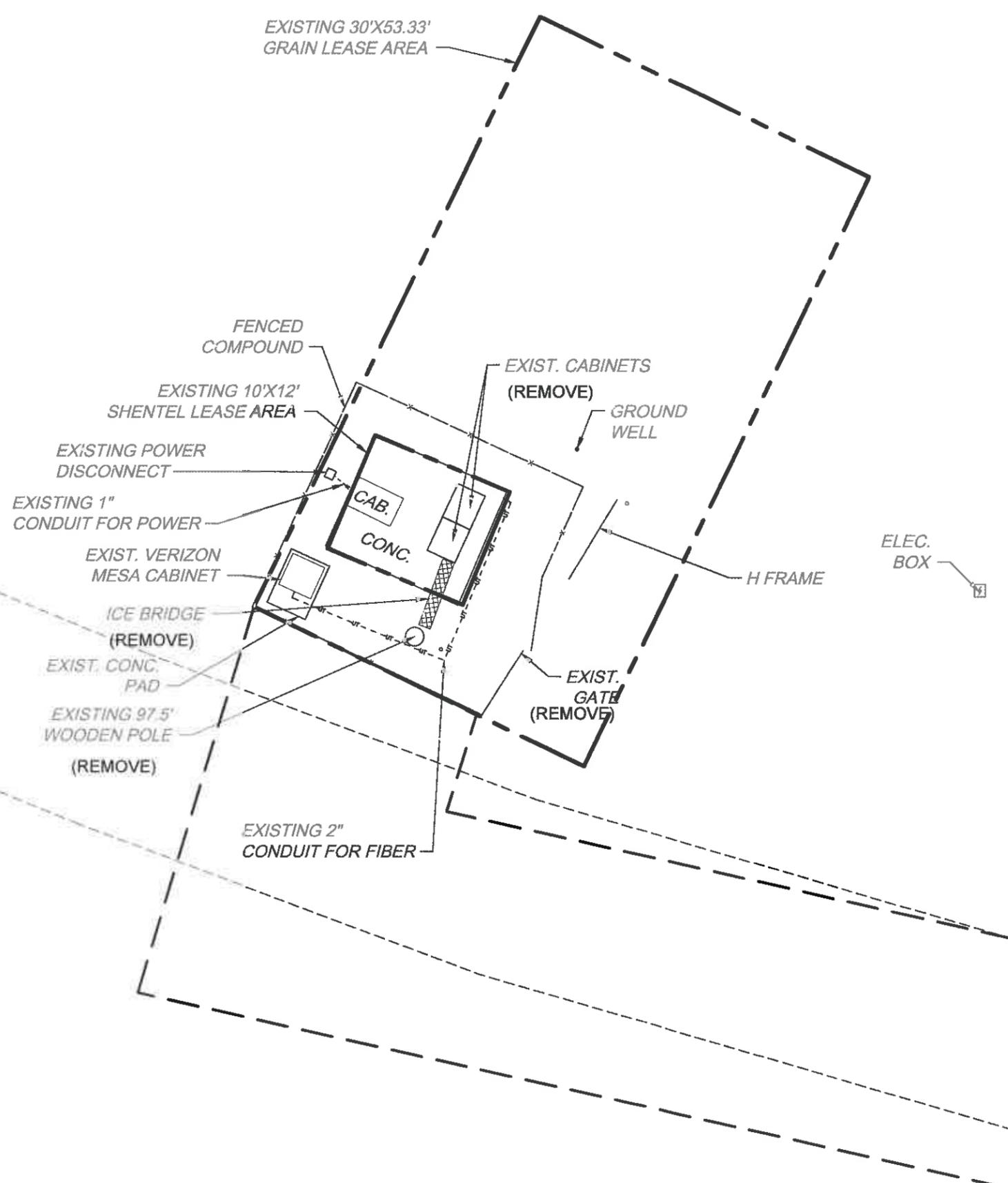
NO.	REVISION/ISSUE	DATE
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EXISTING SITE PLAN SHEET
C-2



GRAPHIC SCALE
10 5 0 10
1 INCH = 10 FEET

LEGEND

---	PROPERTY LINE
----	TRACT LINE
-----	LEASE LINE
-----	ROW LINE
-X-X-	EXISTING FENCE LINE
-XX-XX-	PROPOSED FENCE LINE
-G-G-G-	GAS LINE
-E-E-E-	OVERHEAD POWER
-T-T-T-	OVERHEAD TELEPHONE
-UE-UE-	UNDERGROUND POWER
-UT-UT-	UNDERGROUND TELCO.
-E&T-E&T-	OVERHEAD POWER/TELEPHONE
⊙	5/8" REBAR W/CAP SET
⊠	FOUND MONUMENTATION
○	CALCULATED POINT
⊙	EXISTING UTILITY POLE
⊙	PROPOSED UTILITY POLE

NORTH MERIDIAN REFERENCED TO VA
STATE PLANE COORDINATE SYSTEM
SOUTH ZONE (MAD83)

NOTE: BEFORE CONSTRUCTION,
ALL UTILITY LINES WILL BE
LOCATED AND MARKED



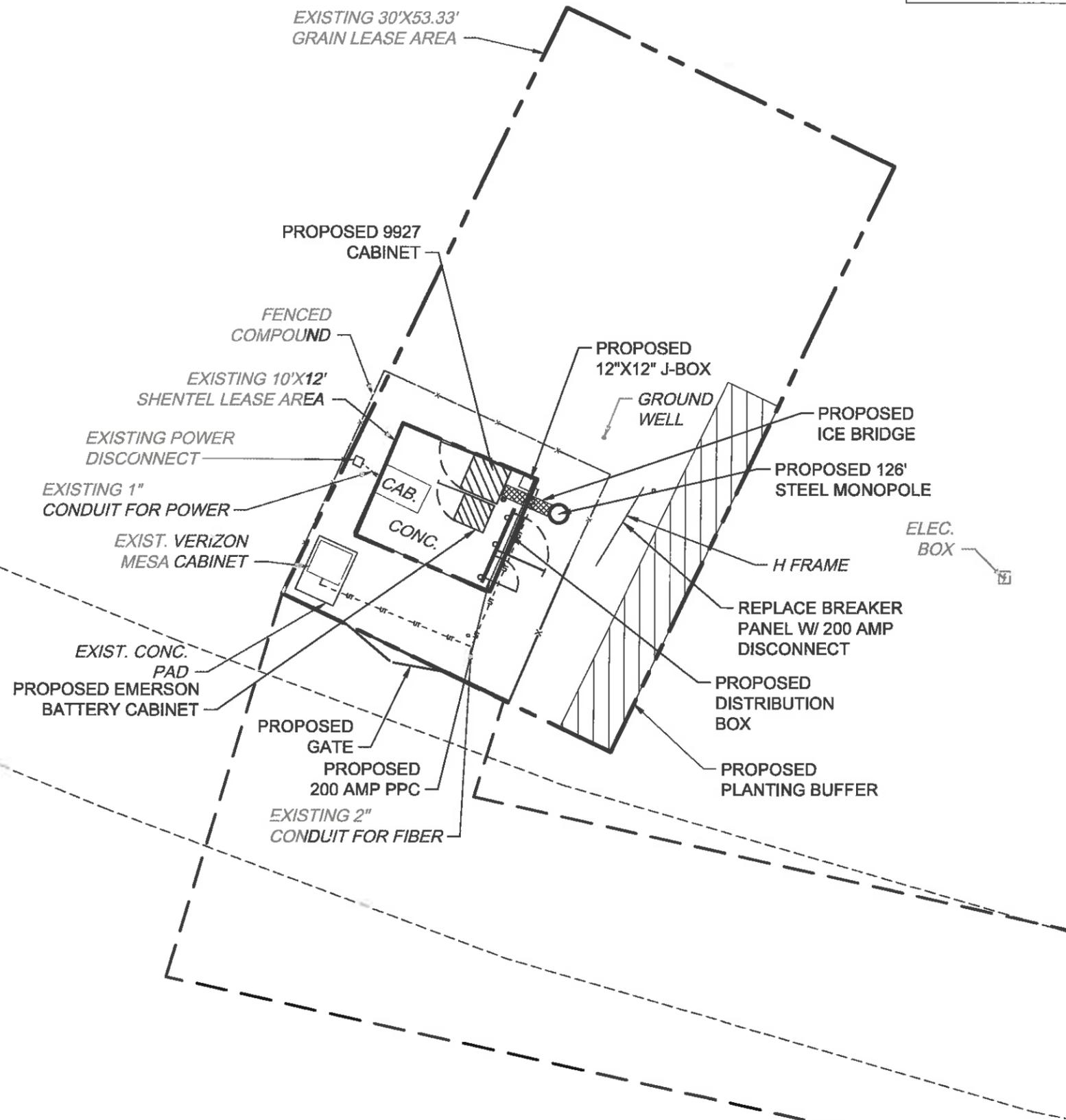
SITE NAME: POLLY WRIGHT
 SITE NUMBER: CV221
 SITE ADDRESS: 127 DAVIS CREEK LN
 LOVINGSTON, VA 22949
 AREA: LEASE AREA =120 SQ. FT.
 PROPERTY OWNER:
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TG PROJECT # 37452
 SHEET C-3
 SITE LAYOUT PLAN



GRAPHIC SCALE

LEGEND

- PROPERTY LINE
- TRACT LINE
- LEASE LINE
- ROW LINE
- x - x - EXISTING FENCE LINE
- xx - xx - PROPOSED FENCE LINE
- G - G - GAS LINE
- E - E - OVERHEAD POWER
- T - T - OVERHEAD TELEPHONE
- UE - UE - UNDERGROUND POWER
- UT - UT - UNDERGROUND TELCO.
- E&T - E&T - OVERHEAD POWER/TELEPHONE
- 5/8" REBAR W/CAP SET
- FOUND MONUMENTATION
- CALCULATED POINT
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE

NORTH MERIDIAN REFERENCED TO VA STATE PLANE COORDINATE SYSTEM SOUTH ZONE (NAD83)



SITE NAME: POLLY WRIGHT

SITE NUMBER: CV221

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AREA: LEASE AREA =120 SQ. FT.

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COUNTY: NELSON COUNTY

LATITUDE: N37° 48' 42.70"

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NO.	REVISION/ISSUE	DATE
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TREE LEGEND

No.	Size/Type	Ground Elev. (AMSL)	Top Tree Elev. (AMSL)	Tree Height (AGL)
38	48" Oak	751.6	835.4	83.9
40	56" Oak	748.7	855.3	106.6
42	10" Hickory	753.0	811.9	58.9
44	16" Oak	752.4	841.0	88.6
46	16" Oak	752.4	832.4	80.0
48	30" Oak	754.6	857.1	102.5

AMSL - DENOTES "ABOVE MEAN SEA LEVEL"
AGL - DENOTES "ABOVE GROUND LEVEL"

EXISTING TOWER - WOODEN POLE	
LATITUDE:	37° 48' 42.61"
LONGITUDE:	78° 51' 28.08"
GROUND ELEVATION:	754.30' AMSL
TOP OF TOWER:	97.5' AGL
TOP OF ANT:	96.0' AGL

PROPOSED TOWER - STEEL MONOPOLE	
LATITUDE:	37° 48' 42.70"
LONGITUDE:	78° 51' 27.97"
GROUND ELEVATION:	754.30' AMSL
TOP OF TOWER:	126' AGL
TOP OF LIGHTNING ROD:	130' AGL

NOTE: TREES INDICATED ON TREE LEGEND DENOTES SIGNIFICANT TREES. OTHER SMALLER/SHORTER TREES WERE NOT SURVEYED. NO ADDITIONAL TREES WILL BE REMOVED FROM THE SITE.



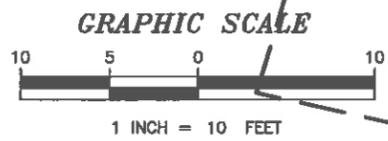
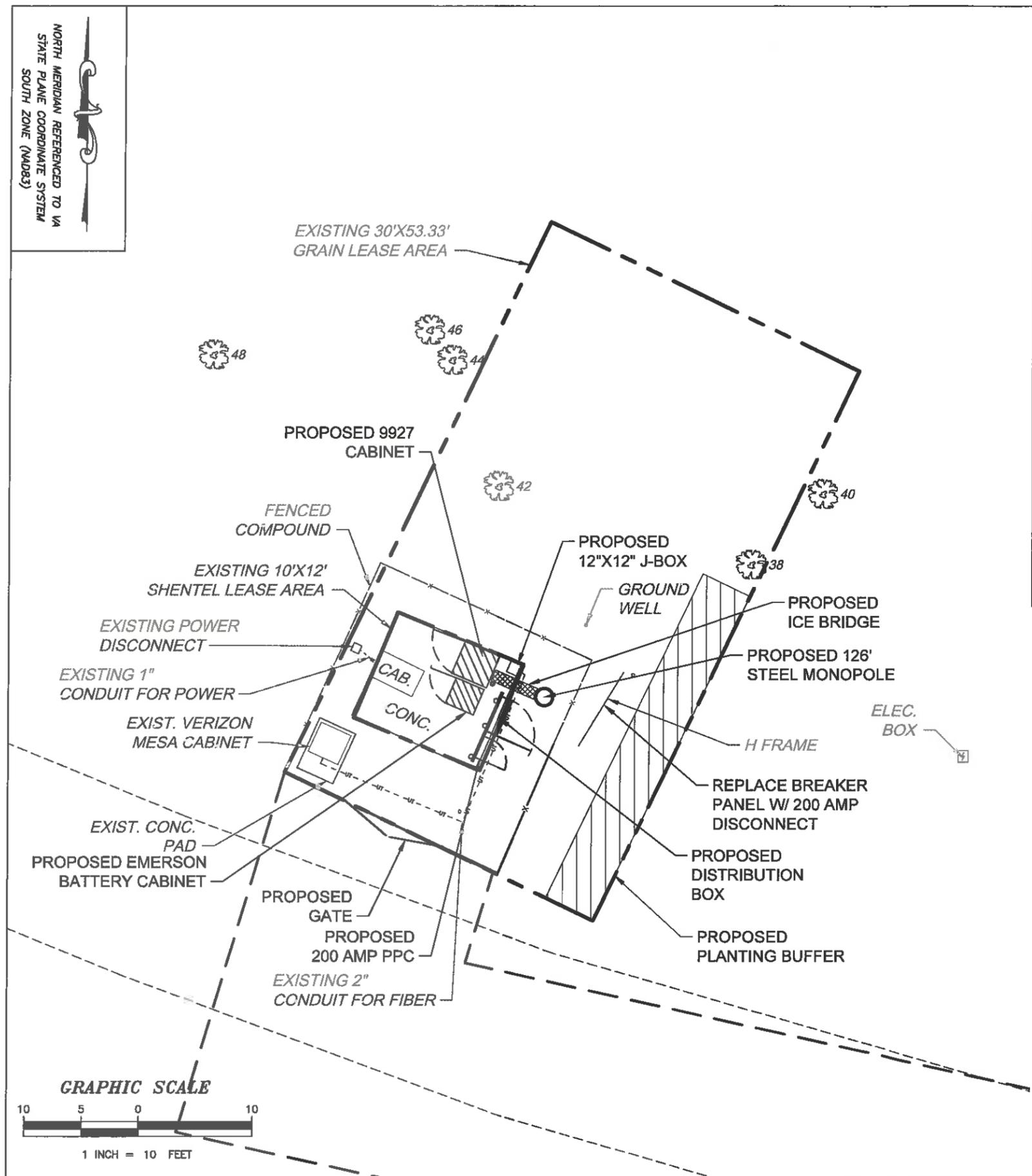
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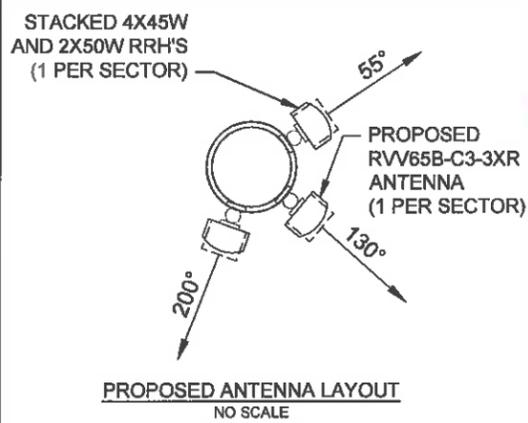
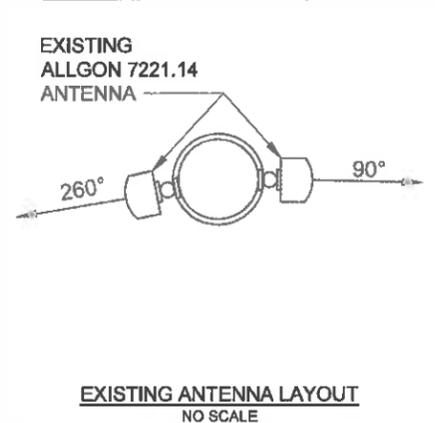
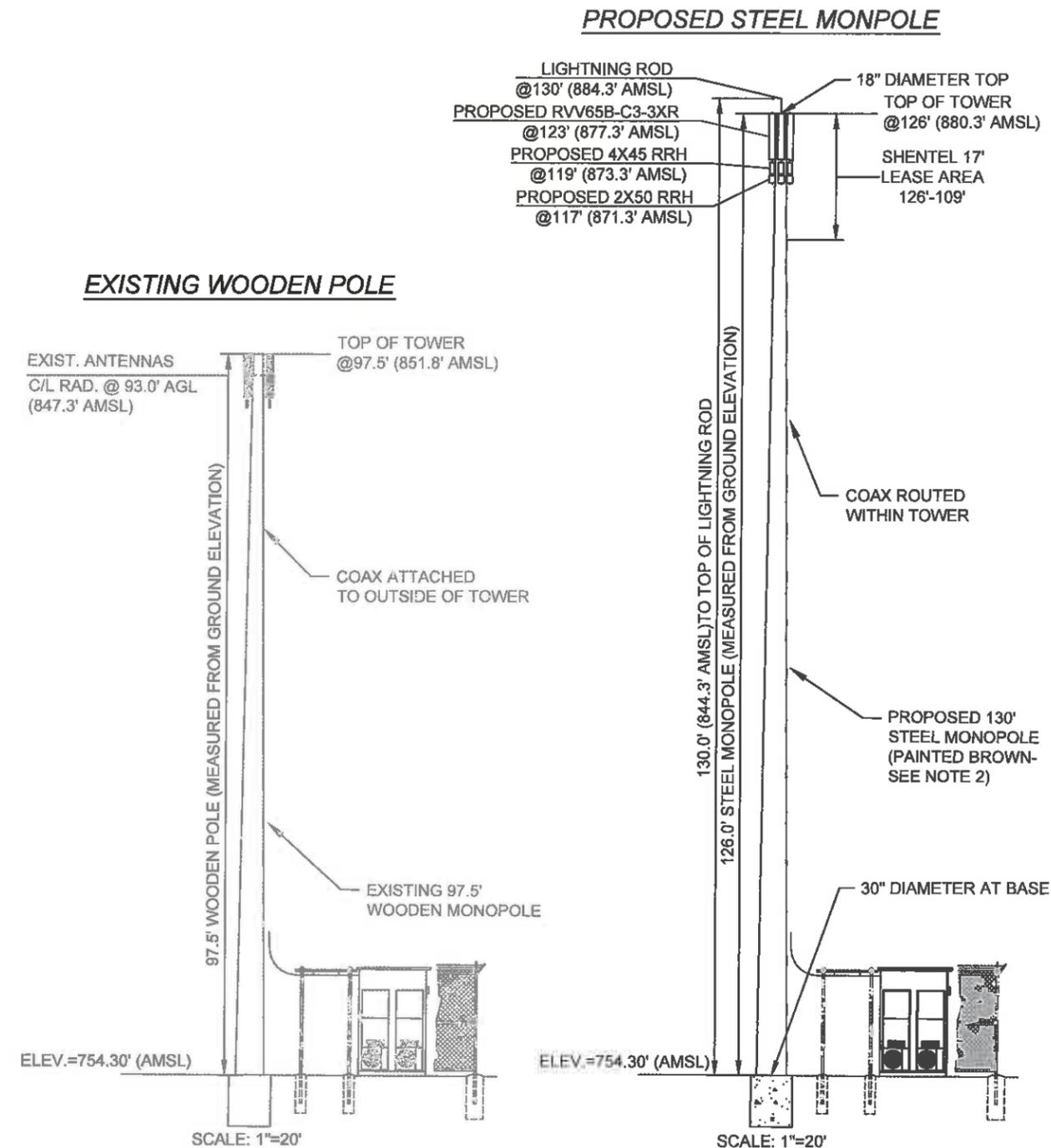
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TREE SURVEY SHEET C-4



NOTE:
CONTRACTOR TO VERIFY ANTENNA
INFORMATION 48 HOURS PRIOR
TO INSTALLATION.



- EXISTING EQUIPMENT (93.0'):**
- (2) 7/8" COAX LINES
 - (2) ALLGON 7221.14 ANTENNA
- REMOVE EQUIPMENT (93.0'):**
- (2) ALLGON 7221.14 ANTENNA
 - (2) 7/8" COAX LINES

- PROPOSED EQUIPMENT (123'):**
- (2) HYBRID CABLE - AFOP-NTHYB-R1 10 AWG
 - (3) RVV65B-C3-3XR (1) PER SECTOR
 - (4) LWRM SITE PRO COLLAR MOUNT
- PROPOSED EQUIPMENT (119'):**
- (3) 4x45 RRH. (1) PER SECTOR
- PROPOSED EQUIPMENT (117'):**
- (3) 2x50 RRH. (1) PER SECTOR

TO BE REMOVED	PROPOSED	PROPOSED	PROPOSED
<p>AREA = 792.88 IN²</p> <p>EXISTING ALLGON 7221.14 ANTENNA DIMENSIONS SCALE: 1"=4"</p>	<p>AREA = 866.32 IN²</p> <p>PROPOSED RVV65B-C3-3XR ANTENNA DIMENSIONS SCALE: 1"=4"</p>	<p>AREA = 278.39 IN²</p> <p>PROPOSED ALU 4x45 RRH DIMENSIONS SCALE: 1"=4"</p>	<p>AREA = 204.1 IN²</p> <p>PROPOSED 2x50 RRH DIMENSIONS SCALE: 1"=4"</p>

- NOTES:**
- THE ONLY ON-SITE LIGHTING PROPOSED IS MOUNTED ON THE PROPOSED CABINETS. THE LIGHTING IS INTENDED FOR TEMPORARY MAINTENANCE USE ONLY.
 - POLE, ANTENNAS, CONCRETE PADS, CABINETS, AND ALL APPURTENANCES TO BE PAINTED SHERWIN WILLIAMS - UMBRA - SW4008 (INDUSTRIAL AND MARINE COATING).
 - DISTANCE BETWEEN THE FACE OF THE POLE TO THE BACK OF THE ANTENNAS SHOULD NOT EXCEED 12".

SHENTEL
Always connected to you

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SITE NUMBER: CV221

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LOVINGSTON, VA 22949

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2820 STAGEBRIDGE ROAD
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2	FCD'S	6/10/16



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TG PROJECT # 37452

TOWER ELEVATION	SHEET C-5
-----------------	--------------



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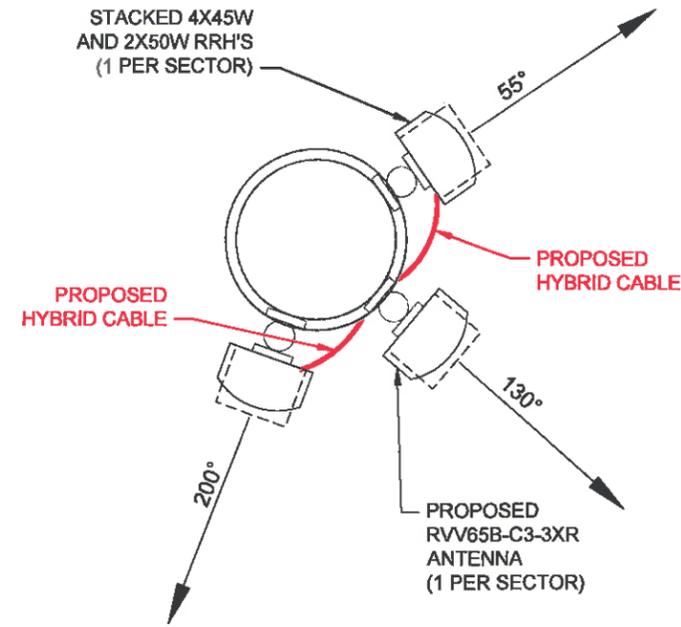
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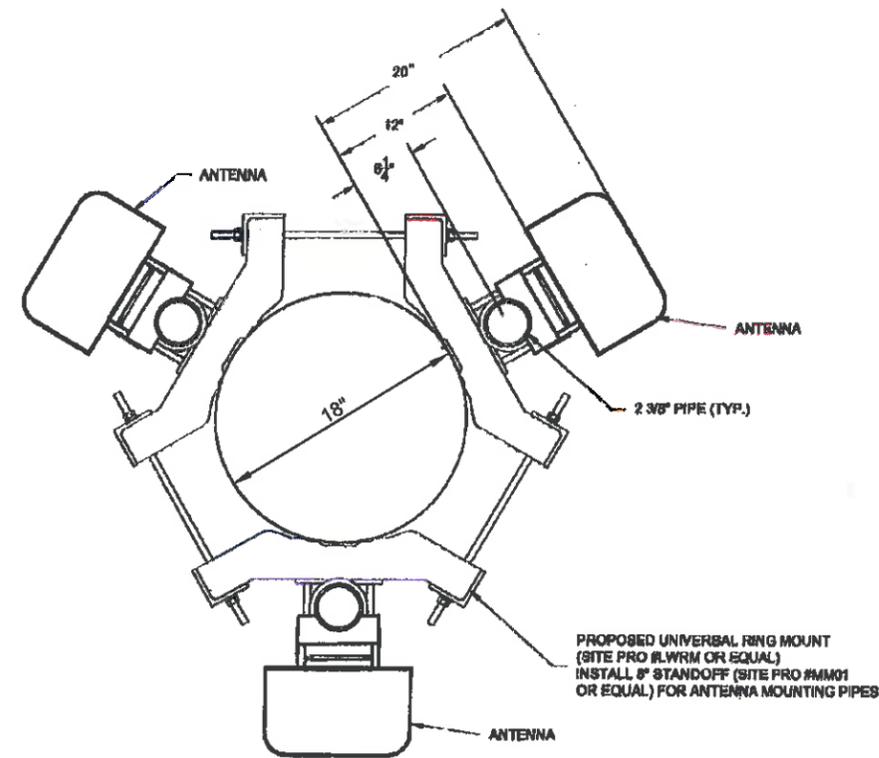
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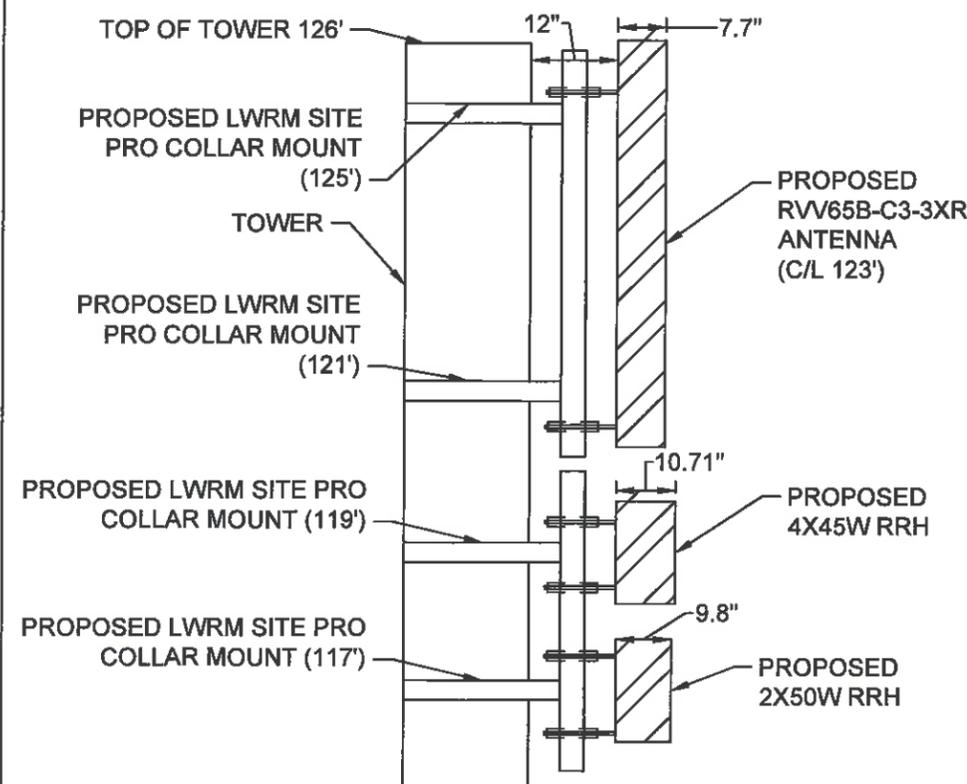
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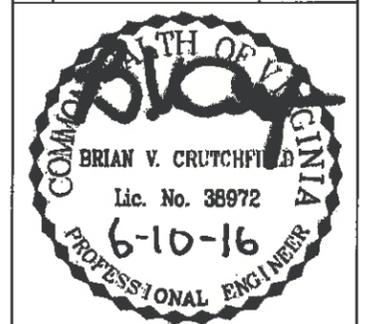
PROPOSED ANTENNA ROUTING
NO SCALE



RVV65B-C3-3XR
ANTENNA
77-9144-NOV16-CPID



PROPOSED ANTENNA AND RRH STANDOFF
NO SCALE



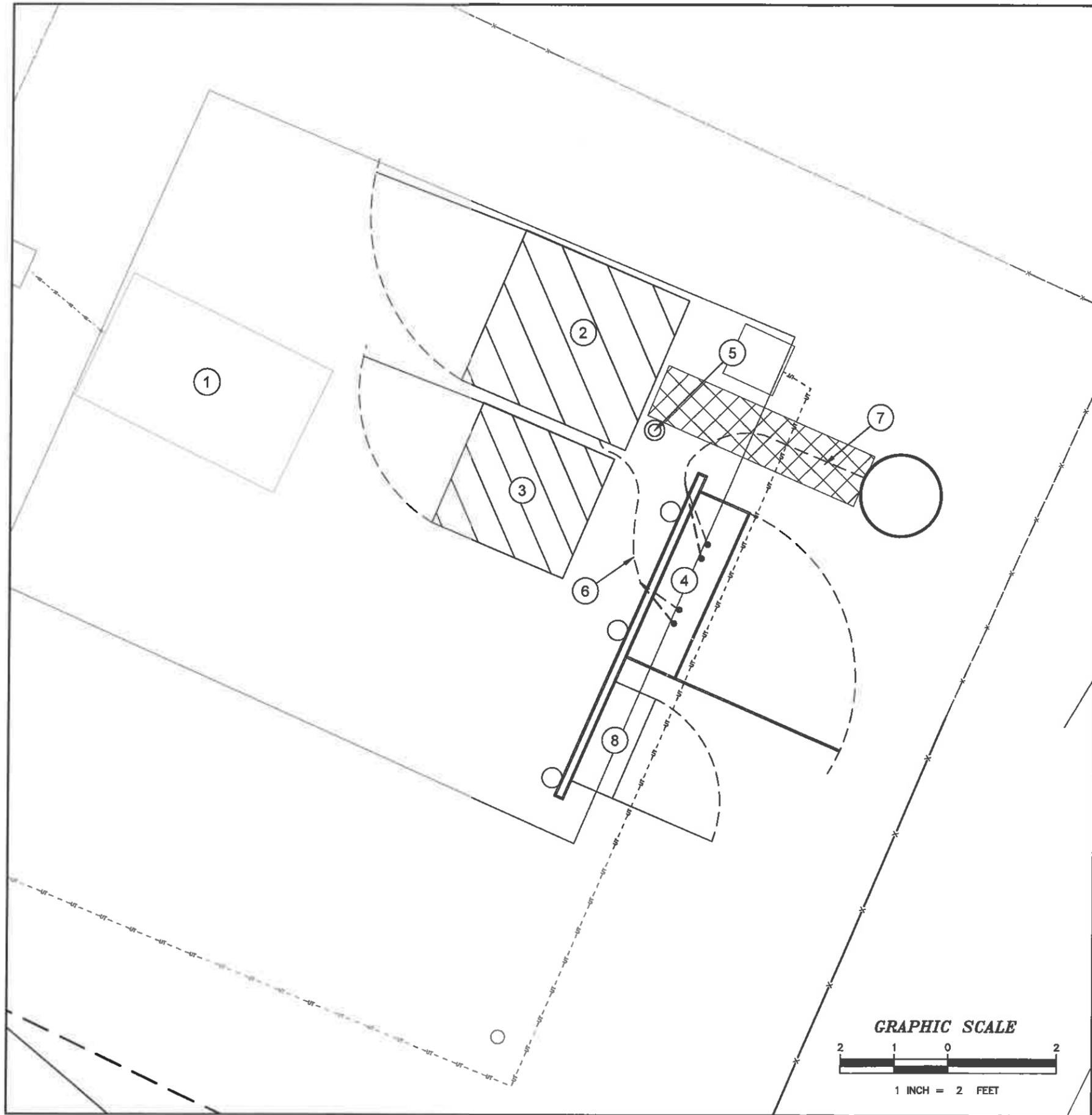
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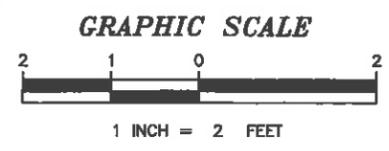
ANTENNA CABLE ROUTING	SHEET C-6
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NORTH MERIDIAN REFERENCED TO VA
 STATE PLANE COORDINATE SYSTEM
 SOUTH ZONE (NAD83)

SITE IS LOCATED WITHIN THE NRQZ AND REQUIRES COORDINATION WITH THE NRAO. ALTHOUGH NOT EXPECTED, CHANGES TO THE SITE'S CONFIGURATION MAY BE REQUIRED. EXISTING BASE STATION WILL BE REMOVED AND THE SITE WILL RECEIVE A 9927 AND BATTERY CABINET. AISG PORT 1 SHOULD BE USED FOR RET CONTROL FROM 4X40 OR 4X45. IN DC POWER CABLES, USE CONDUCTOR WITH BLACK INSULATION FOR "RETURN". IN A -48VDC SYSTEM, USE CONDUCTOR WITH RED INSULATION FOR -48VDC. FOR 6-PORT MULTI-BAND ANTENNAS, CONNECT 800 MHZ 2X50 RRH PORT 1 TO ANTENNA PORT 1, 2X50 PORT 2 TO ANTENNA PORT 2, PCS 4X45 PORT 1 TO ANTENNA PORT 3, 4X45 PORT 2 TO ANTENNA PORT 4, 4X45 PORT 3 TO ANTENNA PORT 5, AND 4X45 PORT 4 TO ANTENNA PORT 6.

- ① (E) SHENTEL RF CABINET
- ② (N) SHENTEL 9927 EQUIPMENT CABINET
- ③ (N) SHENTEL BATTERY CABINET
- ④ (N) SHENTEL DISTRIBUTION BOX
- ⑤ (N) SHENTEL GPS ANTENNA
- ⑥ (N) SHENTEL (2) 1-1/2" FLEXLIGHT CONDUITS
- ⑦ (N) SHENTEL (2) 10 AWG HYBRID CABLES
- ⑧ (N) SHENTEL 200 AMP PPC



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TG PROJECT # 37452

EQUIPMENT PLATFORM PLAN	SHEET
	C-7



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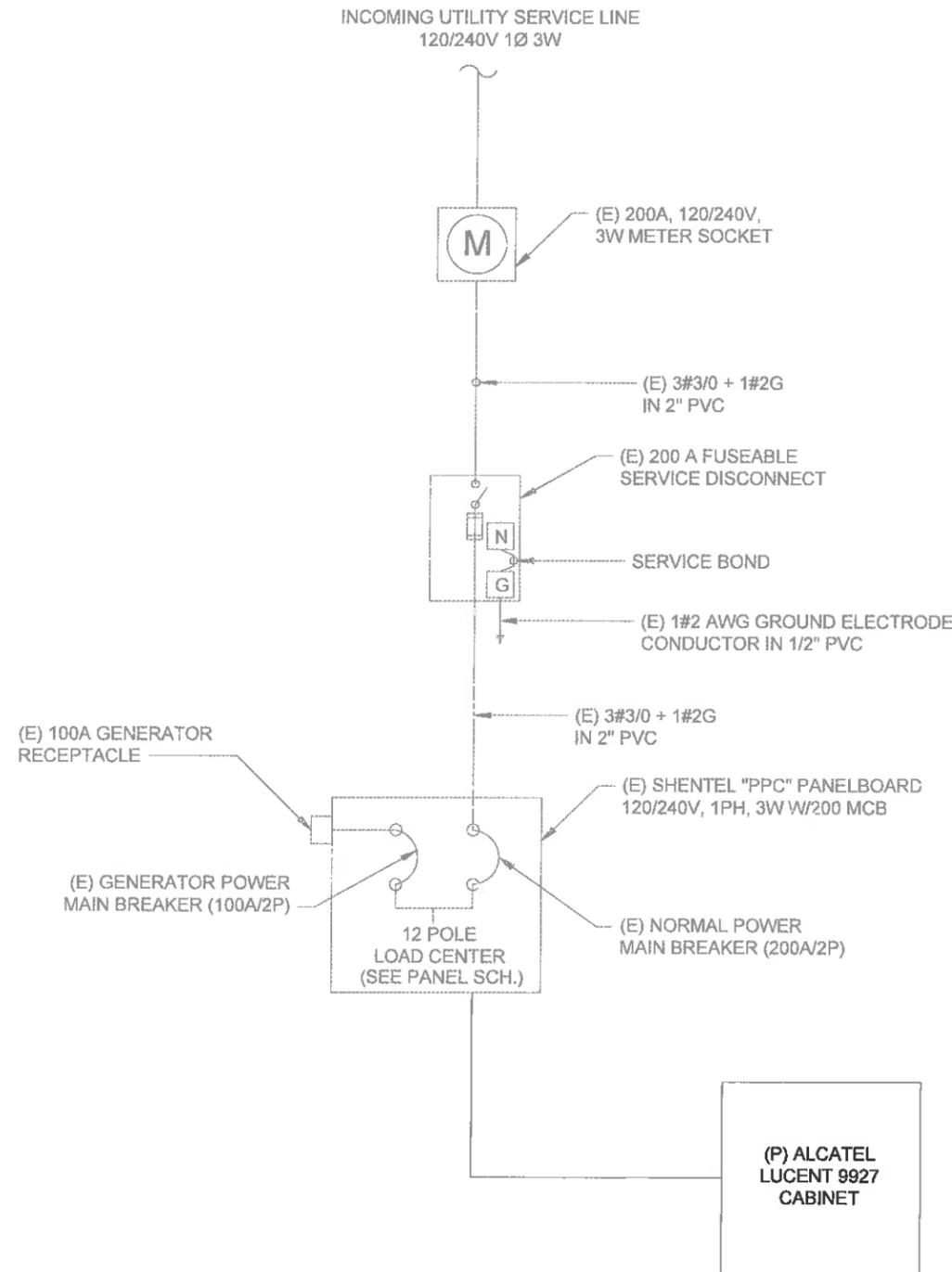
NO.	REVISION/ISSUE	DATE
1	ZONING DRAWINGS	4/29/16
2	FCD'S	6/10/16

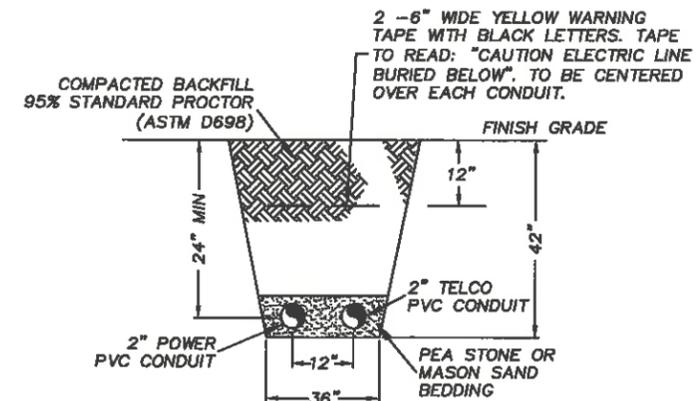
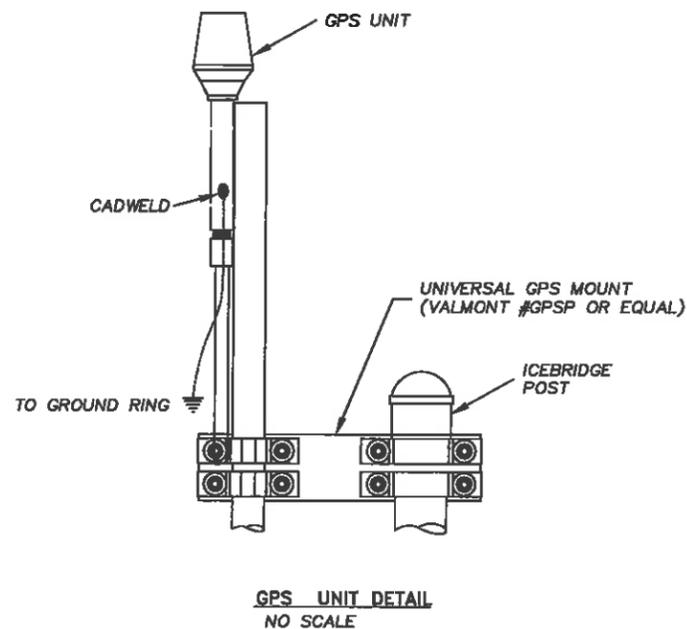
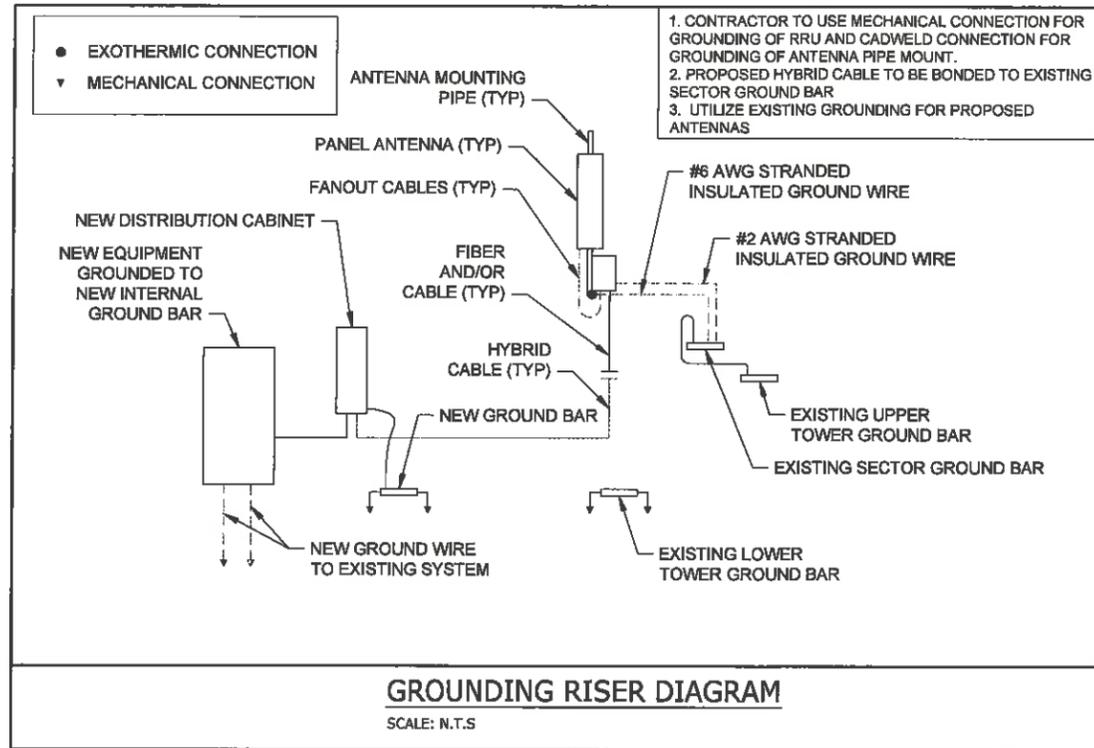


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POWER & TELEPHONE SINGLE LINE DIAGRAM	SHEET D-1
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TRENCHING DETAIL FOR CONDUIT ROUTING
NOT TO SCALE

NOTE:

1. CONDUITS ARE TO BE STUBBED UP TO NEAREST UTILITY POLE WITHIN 2" OF THE POLE, UNLESS OTHERWISE NOTED.
2. ALL DISTURBED AREAS NOT COVERED BY STONE ARE TO BE SEEDED AND MULCHED.
3. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF UNSUITABLE MATERIAL WHICH WILL NOT COMPACT PROPERLY.



SITE NAME: POLLY WRIGHT

SITE NUMBER: CV221

SITE ADDRESS:
127 DAVIS CREEK LN
LOVINGSTON, VA 22949

AREA:
LEASE AREA =120 SQ. FT.

PROPERTY OWNER:

WILLIAM L. BRIDGEWATER
2820 STAGEBRIDGE ROAD
LOVINGSTON, VA 22949

COUNTY: NELSON COUNTY

LATITUDE: N37° 48' 42.70"

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MISCELLANEOUS DETAILS	SHEET
	D-2



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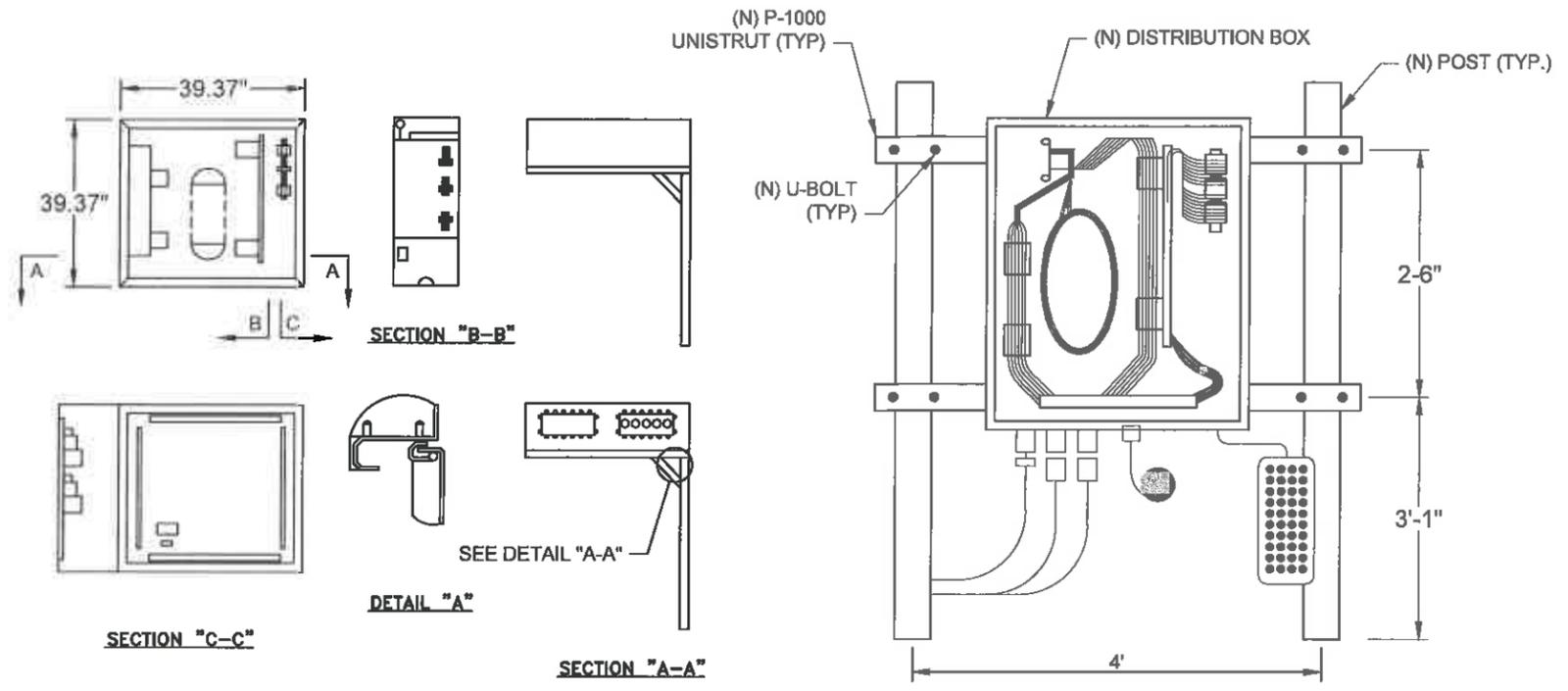
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TG PROJECT # 37452

MISCELLANEOUS DETAILS	SHEET
	D-3



DISTRIBUTION BOX PLAN VIEW
NO SCALE

DISTRIBUTION BOX ELEVATION VIEW
NO SCALE

1. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES.

2. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.

3. CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

4. LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF EXISTING WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLANS. IF THERE APPEARS TO BE A CONFLICT, OR UPON THE DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS. FOR ASSISTANCE CALL "MISS UTILITY".

5. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION. AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.

7. THE CONTRACTOR SHALL COORDINATE WITH SHENTEL THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.

8. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE.

9. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY COUNTY INSPECTORS. CONTRACTOR SHALL BE ON SITE FOR ALL INSPECTIONS.

10. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE IN WHICH IT IS TO BE PERFORMED. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.

11. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.

12. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.

13. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIAL ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNERS ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.

14. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD WORKING QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.

16. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.

17. ACCESS TO THE EXISTING WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.

18. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.

19. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.

20. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.

21. THE ELECTRICAL AND RF STANDARDS AND SPECIFICATIONS SHOWN ON THESE PLANS HAVE BEEN PROVIDED BY THE CLIENT. RPM ENGINEERS HAS NOT PREPARED AN ANALYSIS OF THE STANDARDS AND SPECIFICATIONS. THEY HAVE BEEN PROVIDED FOR CONVENIENCE.

22. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF PROJECT.

23. COORDINATE THE CONSTRUCTION STAGING AREA WITH THE PROPERTY OWNER AND THE PROPERTY MANAGER WELL IN ADVANCE OF THE CONSTRUCTION START DATE.

24. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS, AND NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

25. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE WORK SITE ON A DAILY BASIS.



SITE NAME: POLLY WRIGHT

SITE NUMBER: CV221

SITE ADDRESS: 127 DAVIS CREEK LN LOVINGSTON, VA 22949

AREA: LEASE AREA =120 SQ. FT.

PROPERTY OWNER: WILLIAM L. BRIDGEWATER 2820 STAGEBRIDGE ROAD LOVINGSTON, VA 22949

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GENERAL NOTES SHEET D-4

ROCKFISH VALLEY AREA PLAN

Meeting Summary – June 28th, 2016 Open House

6:30pm – 8:30pm at Rockfish Valley Community Center

Estimated Number of Public Attendees: 125

Meeting Format:

- “Open House” meeting format was intended to encourage interaction with staff, and was comprised of stations for Transportation, Economy, Agriculture, Natural Resources, and Community plan topics.
- Project team members provided brief presentations on an introduction to the Area Plan (Tim Padalino – Nelson County) and a summary of preliminary survey results and overview of data used for analysis in each plan topic (Nick Morrison – TJPDC). The same presentation was given twice: once at 6:45 and again at 7:45.

Public Comments Regarding Meeting Format:

- Some attendees thought there would be an interactive question and answer activity between members of the audience and project team presenters directly after each presentation. This was not done, in favor of having Q&A activities happen at each of the five stations. This was intended to be a more two-way conversational approach, and to provide for a more streamlined public meeting. Some attendees said it would have been beneficial to have a formalized question and answer portion so everyone could hear each other’s questions.

General Comments and Discussion:

- As expected, many attendees questioned why the Atlantic Coast Pipeline was not included in the presentation or in the analysis.
- The recently announced Dollar General store in Nellysford was another topic of concern for many in attendance.
- Questions were raised about how to increase survey participation from a more diverse group of Nelson County residents to potentially provide a broader representation of local perspectives.
- Attendees provided overwhelmingly positive responses to the maps and data presented at each of the five plan topic stations.
- Attendees provided positive feedback on the interactive mapping activity, which allowed attendees to identify which plan topics they prioritize, to make comments on specific locations in the study area, and to show where they live.
- Comments received at the plan topic stations:
 - Truck traffic is a concern
 - Speed limit in Nellysford
 - Trucks have difficulty making the turn at the intersection of Route 6 and 151
 - Try to get traffic counts in winter months to capture winter sports tourists
 - Concern with safety at Mill Lane and 151 intersection
 - Issues at Exit 118 (Interstate 64) could affect the levels of truck traffic on 151
 - What is the real economic viability of farming and agriculture?
 - Look at how soil quality maps were calculated and create more specific data
 - Include Ag Forestal Districts on the maps
 - Business employment data set may have some inaccuracies

Summary of Comment Card Submissions:

- Transportation:
 - Rte. 6 and 151 intersection needs a traffic circle
 - We don't have a traffic problem – it is a safety issue
 - I would love to see some public transportation options available
 - We need a turn lane from 151 onto 250 (I know this is in Albemarle, but it is nonetheless needed)
 - Need signage and architectural guidelines and approval
 - Transportation, there is no public bus service... Everyone here has to have/own a car!

- Economy:
 - I was surprised and disappointed that local job growth is not a priority to folks. That being said, no big box jobs needed! We like it local!
 - Nellysford has only family owned small businesses – not national chains. Keep it that way, it fits. NO Dollar General needed!
 - We must not over-do the development. If we allow chain corporations like McDonalds, Dollar General, or CVS, we will lose our rural, unique character that we all enjoy and benefit from socially and economically.
 - Prefer no Dollar General but [instead] a business that enhances the community to draw dollars from within and without.
 - Utility availability: Nelson Cable's Fiber Line needs to be added – Rte. 6/151, up 664 and side roads, Wintergreen Resort

- Agriculture:
 - Area has low median wages, but potentially vast opportunity for high-profit small scale agricultural enterprises
 - New corporate farming programs and support should be discussed
 - It would be useful to rank the crops in order from most to least % of agricultural zones and assign \$ values to standard units of each type. This agricultural presentation tells nothing about what crops are grown in Nelson County. Isn't the purpose of land use to tell which of these crops have a high median or low \$ values, and what percentages of Nelson agricultural land can be used?
 - Suggest collection data on the economic impact of agro-tourism. Specifically, suggest collection data on the economic impact of agro-tourism and the contribution of vineyards and breweries to Nelson's economy. It seems this category is lumped into more general ones which makes identifying agribusiness more difficult. Perhaps should comment with economy
 - Better management of flat lands directly along Rockfish and other waterways for runoff. But not to the exclusion of homeowners in Stoney Creek and other higher density areas that also contribute their share of fertilizer and lawn care runoff pollutants.
 - ACP sediment pollution will hurt agricultural livelihoods.

- Community:
 - Are there plans for public water and sewer development to support growth?
 - The 151 corridor remains unmarred by large corporate chains – and that is part of the area's charm, appeal, and cultural identity. Let's keep it that way!
 - Add the archaeological site at the intersection of 151 and Glenthorne Loop. There are two small mill sites and sluiceways dating from the 19th century – both highly important

- 2/3 or more people here this evening were past retirement age. If we are able to keep them in this community, services are necessary. In-home services, health and home care, transportation needs, safety, and help getting to appointments, etc.
- I would like to see the area of “Downtown Nellysford” having zoning covenant that allows it to become a lovely little downtown that is a tourist destination for the 151 travelers. A roundabout could help.

- Natural Resources:

- Horizon Village has 2 DCR-recognized wetlands not on this map—Randy Witting
- All Ag-Forestal Districts should be identified on conservation maps
- The rural nature of Nelson County and environment are the primary tourist attractions. Do all possible to preserve them.
- What is the impact of a conservation easement? Vis-à-vis a utility easement i.e. a pipeline?
- The trail system around the Rockfish Valley Nature Center [Spruce Creek Park – Rockfish Valley Foundation] is also wonderful community resource for families and birders and walkers. Appreciation for the generosity in making these trails available to the public!
- The Piney River Bike Trail [Virginia Blue Ridge Rail Trail] is a fabulous recreation resource in the southern end of the County. This resource is for people of all fitness levels, but especially families and those who are not accomplished athletes. More resources like this in the Rockfish Valley would be amazing.
- Groundwater supply concerns: carrying capacity... i.e. AB/INBEW an example of upstate NY with Nestle over pumping
- Planning and Zoning can create ordinances for preservation of our night sky... elimination of light pollution!



Overview

The transportation network in the Rockfish Valley consists of State-maintained rural routes and rural two-lane arterial highways. The major corridors are Route 151 (which runs north-south) and Route 6 (which runs east-west). Both routes are designated Virginia Scenic Byways; and Route 151 is a designated bicycling route. Route 151 is also the location of much of the area's recent commercial development and an growing number of special events. Route 6 has experienced less growth, but has the most heavy vehicle traffic in the study area, with 9% of vehicles on the route being heavy vehicles (trucks, busses, tractor trailers).

Facts and Figures (VDOT Data: 2012-2014)

- Total road miles: 224
- Total number of crashes (between 2012-2014): 302
- Most congested routes: Route 151 and I-64
- Number of crashes involving alcohol (between 2012-2014): 26
- Annual Average Daily Traffic (AADT): 8,161



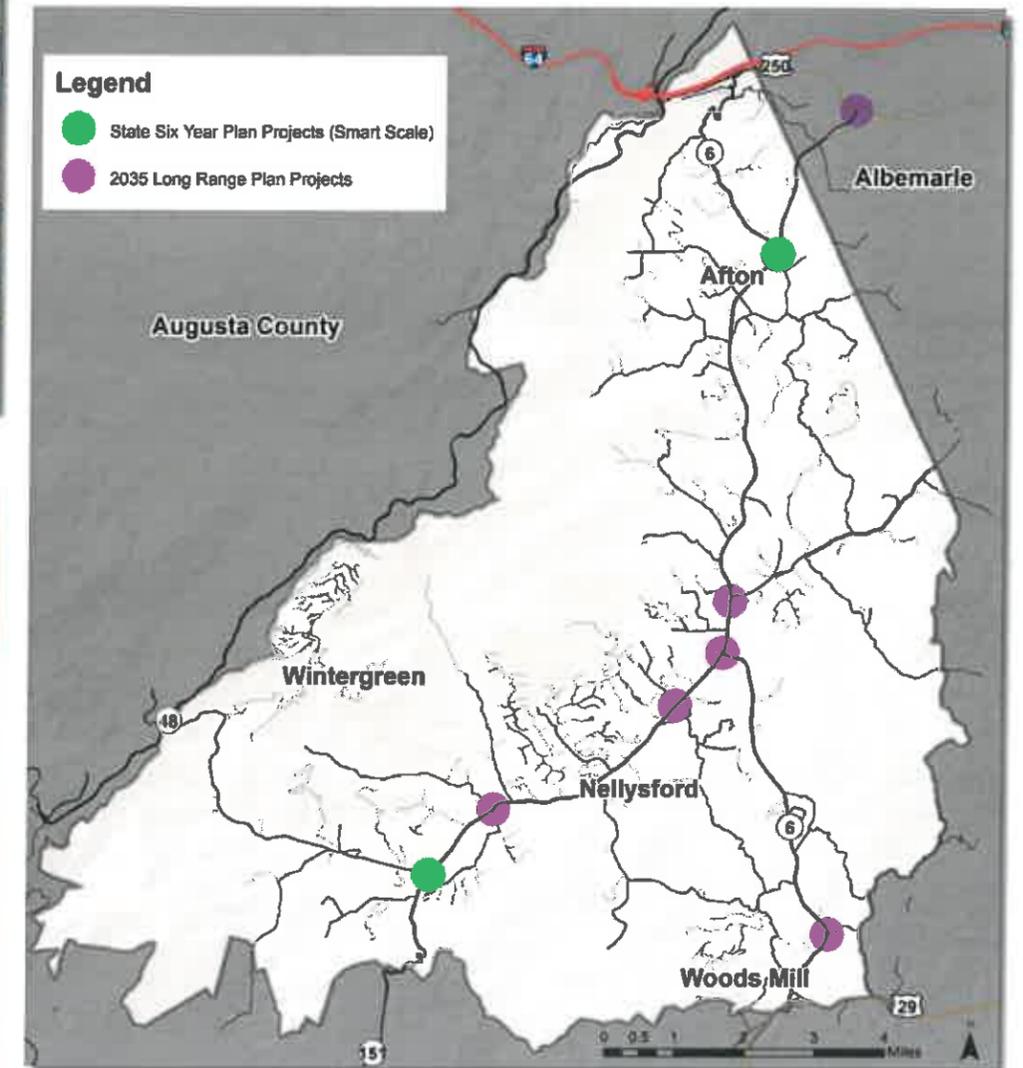
Current Recommendations

Several studies have evaluated the transportation networks in the Rockfish Valley and identified recommendations for improving safety and reducing congestion. Recommendations from these plans have been incorporated into the Regional Long Range Transportation Plan (RLRP-2035). Most recently, the VDOT Route 151 Corridor Study (2013) identified strategies for improving problematic intersections all along Route 151. Two such projects in the corridor were recently awarded construction funds through the Highway Safety Improvement Program (HSIP).

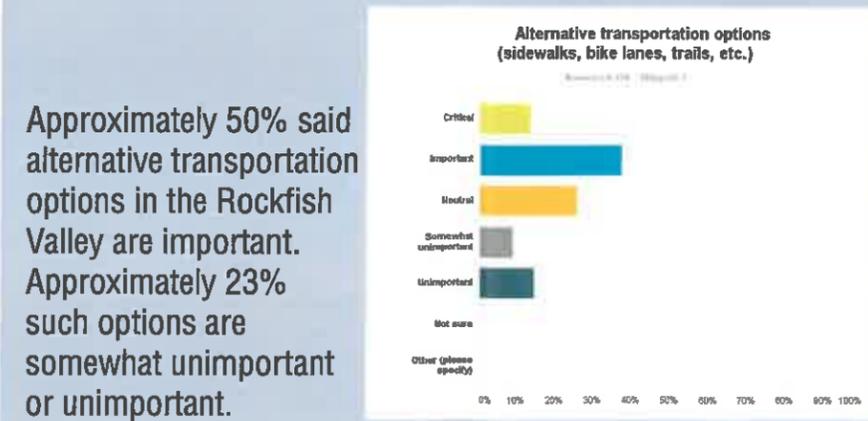
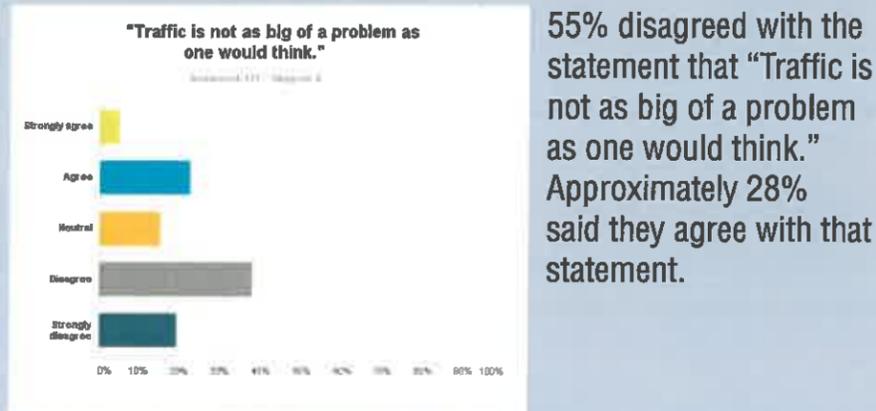
Previous Plans & Existing Studies



2035 Rural Long Range Plan Recommendations Map



Public Survey Results: What is the community saying about Transportation? Do you agree with the results of the survey?

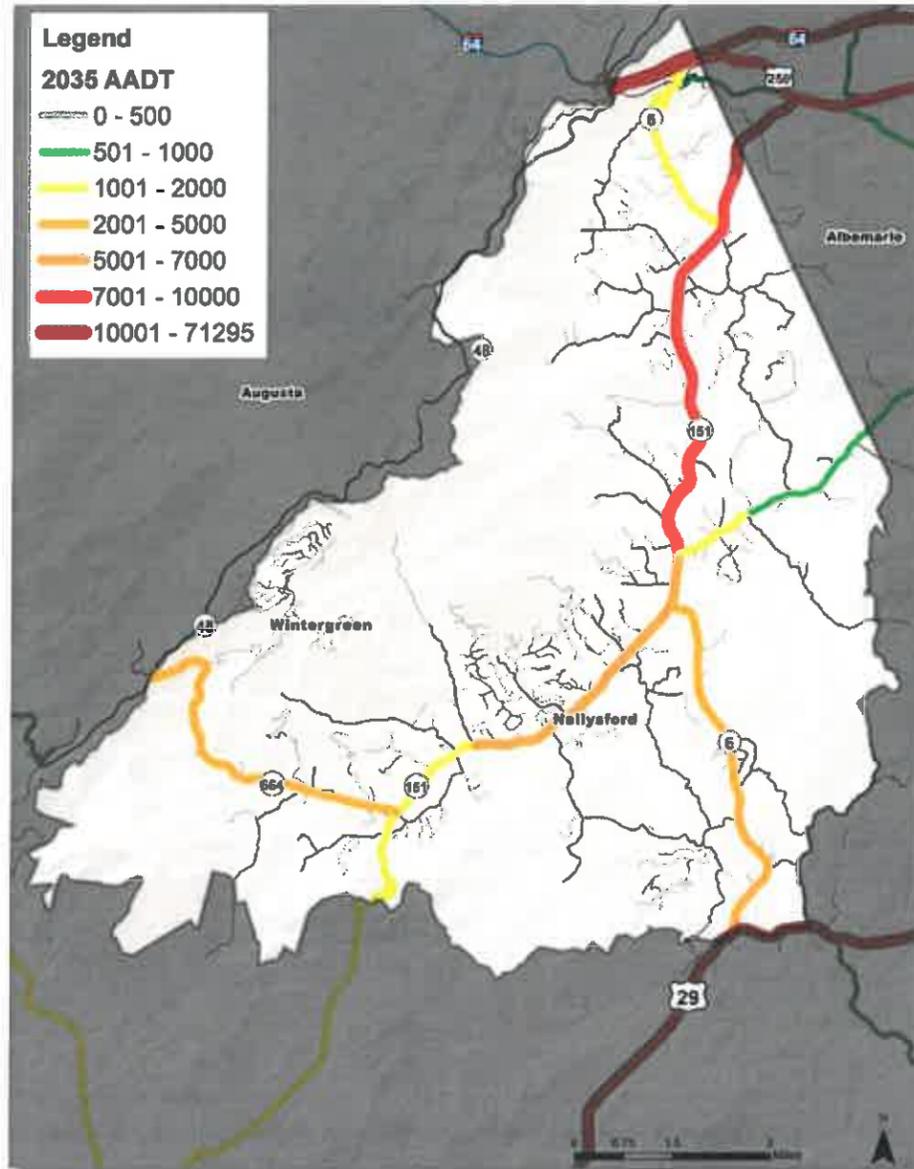


Transportation

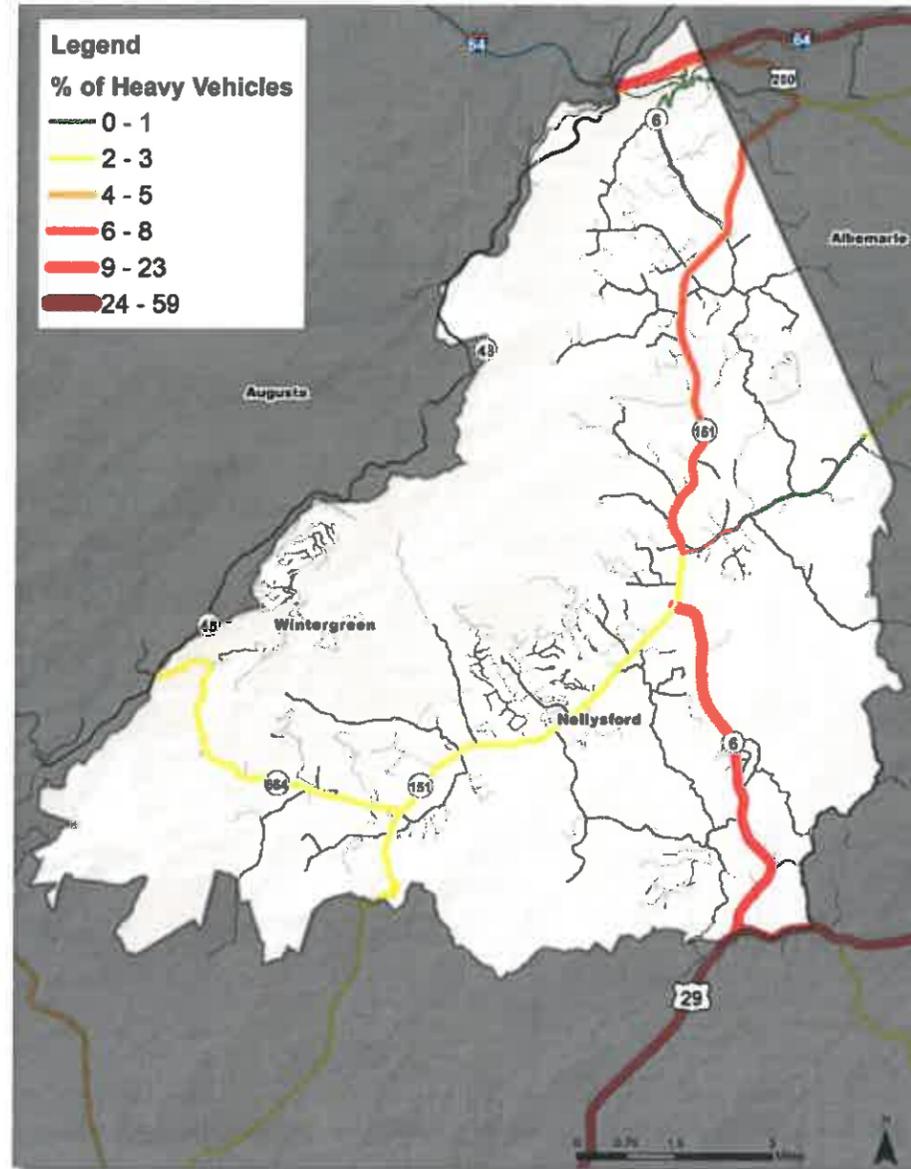
Transportation networks are evaluated on their safety, access to the community, and ability to adequately carry traffic. The maps on this poster highlight the current traffic conditions, the percentage of traffic that is heavy vehicles (trucks), and crash hotspots.



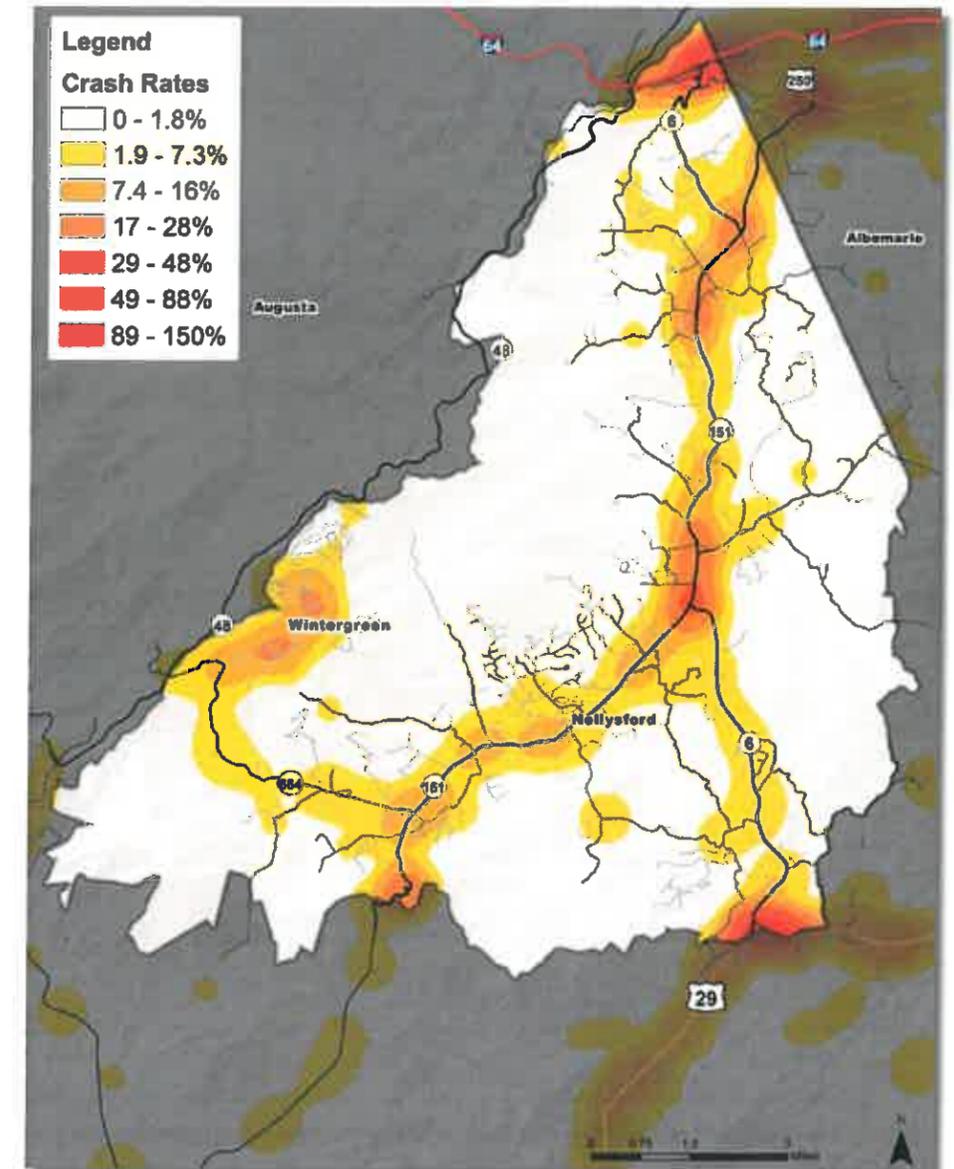
Traffic Volumes



Percent Truck Traffic



Crash Hotspots



Annual average daily traffic (AADT) is a measure of traffic volume on a section of roadway. AADT data is collected by VDOT for major roadways. VDOT collects the data using electronic counting equipment placed in the roadway. Counts are normally done during the week (Tuesday-Thursday) to represent "normal" weekday traffic - and therefore data might not fully represent weekend traffic increases. Data in this map shows current trends forecasted out to 2035.



Percent truck traffic is derived from the same counts as AADT, but sensors on the counting equipment distinguish vehicles by weight. This data provides information on the percentage of the traffic on a roadway that is made up of heavy vehicles. Heavy vehicles include busses, box trucks, large farm equipment, semi-trailers and other combination axle vehicles. Currently, the highest truck traffic rate in the study area is on River Road (Route 6) at 9%.



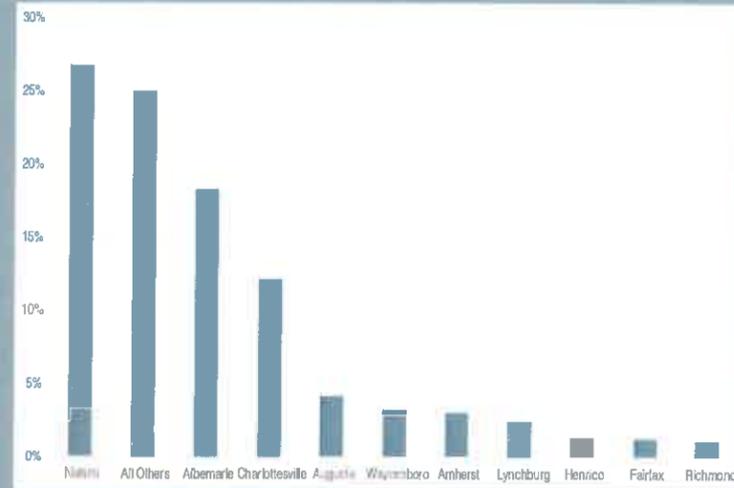
Crash hotspot mapping is a method used to identify areas with clusters of crashes. Crash data is reported to VDOT with location information, severity, and the type of incident. Crash data can be mapped and analyzed using specialized software that identifies hotspots. This map illustrates crashes from 2012-2014; darker colors indicate greater crash numbers. Most hotspots are clustered around intersections along Routes 151, 6, and 29.



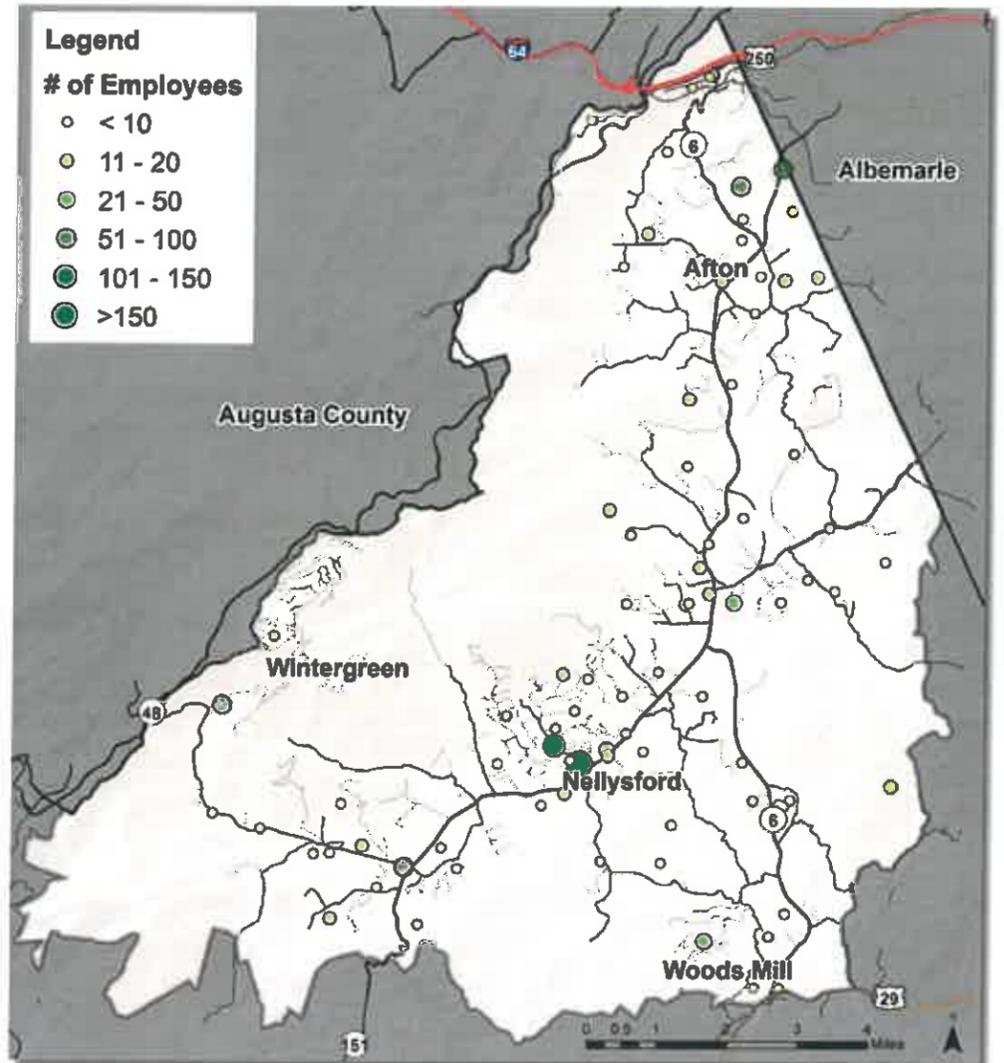
Overview

The economy of the Rockfish Valley is interconnected with its natural beauty and rural identity. The stunning vistas, ag heritage, and outdoor destinations attract a significant number of tourists and vacation home owners. Of the 1,593 jobs in the area, the largest proportion (40%) are in the accommodation and food service industry. The largest entities are Wintergreen Resort and the area's agribusiness sector, which includes numerous world-class breweries, cideries, wineries, and distillery. The vast majority of businesses have located on the 151 corridor, with concentrations in Nellysford, Afton, and Wintergreen. The area has a daily out-commuting pattern for employment, with area residents' destinations including Albemarle County (18%), Charlottesville (12%), Augusta (4%) and Waynesboro (3%).

Commuting Destinations



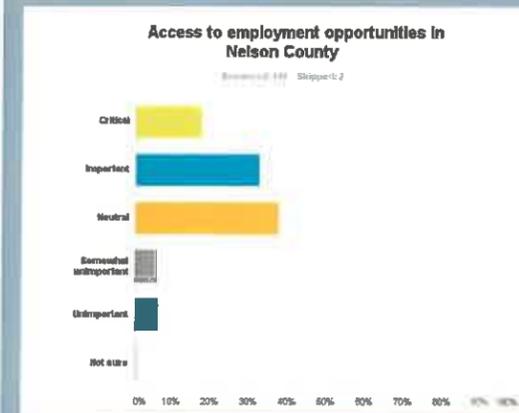
Employment Numbers by Location



Facts and Figures

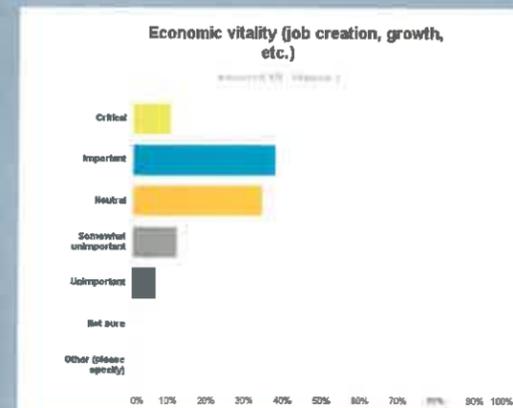
- Median Household Income in Nelson County: \$48,888
- Median Household Income in Study Area: \$57,203
- Population in Study Area: 7,749 people
- Population Density in Study Area: 32 persons per square mile
- Unemployment Rate: 3.4%

Public Survey Results: What is the community saying about the Economy? Do you agree with the results of the survey?

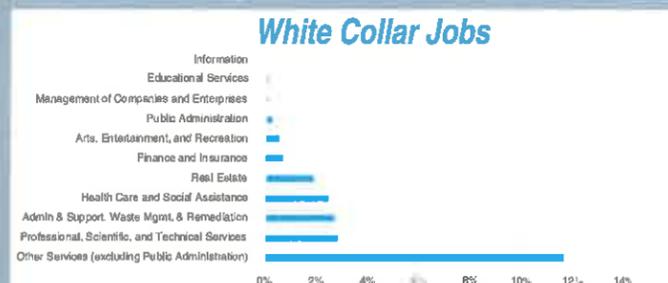
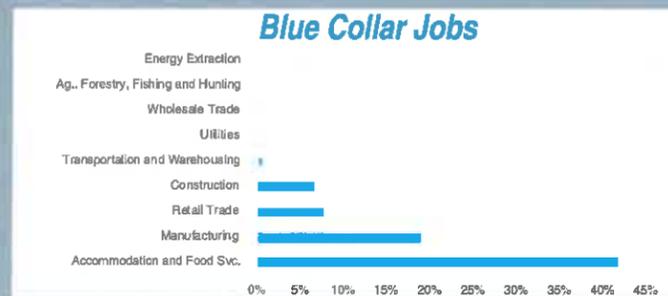


Approximately 50% said access to employment in Nelson County is important; while 35% said they are neutral on that issue.

Approximately 45% said economic vitality in the Rockfish Valley is important; while over 30% said they are neutral on that issue.



Employment by Sector

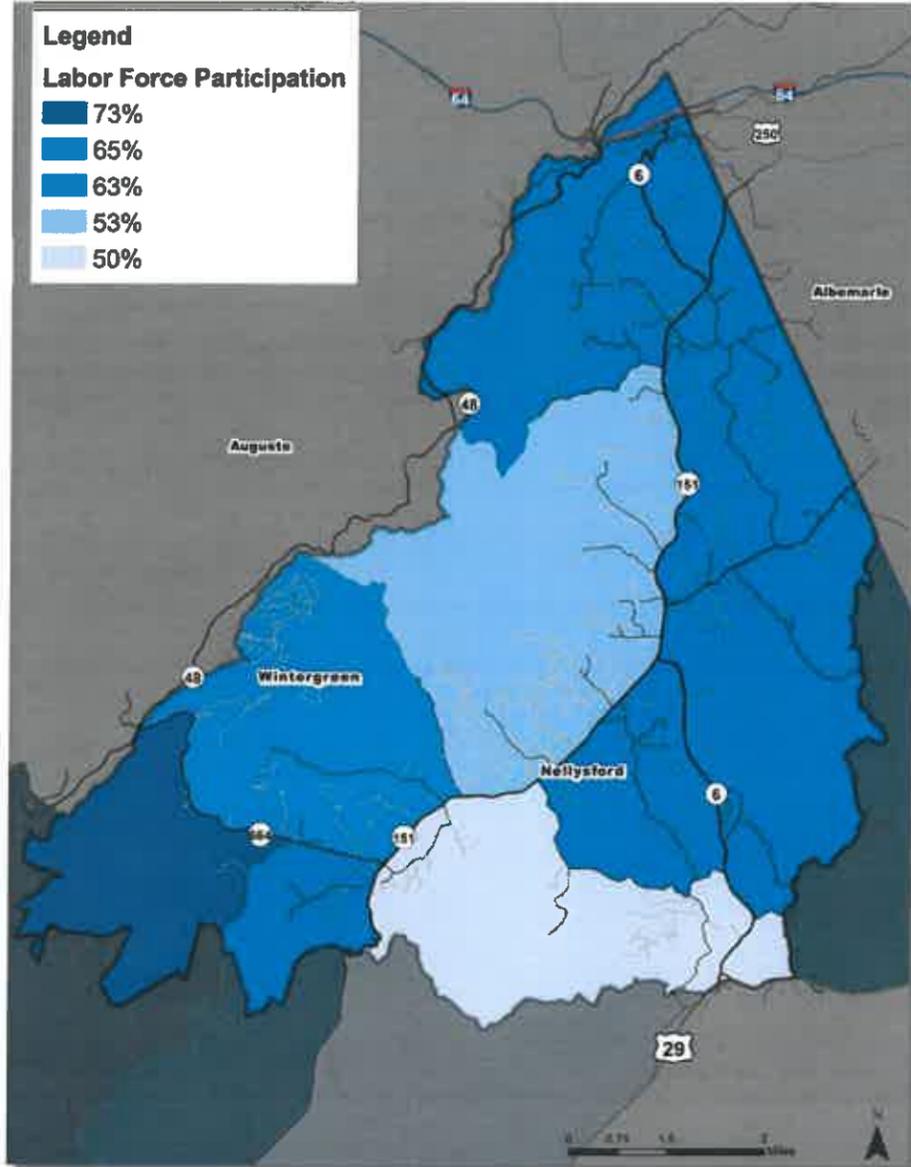


Economy

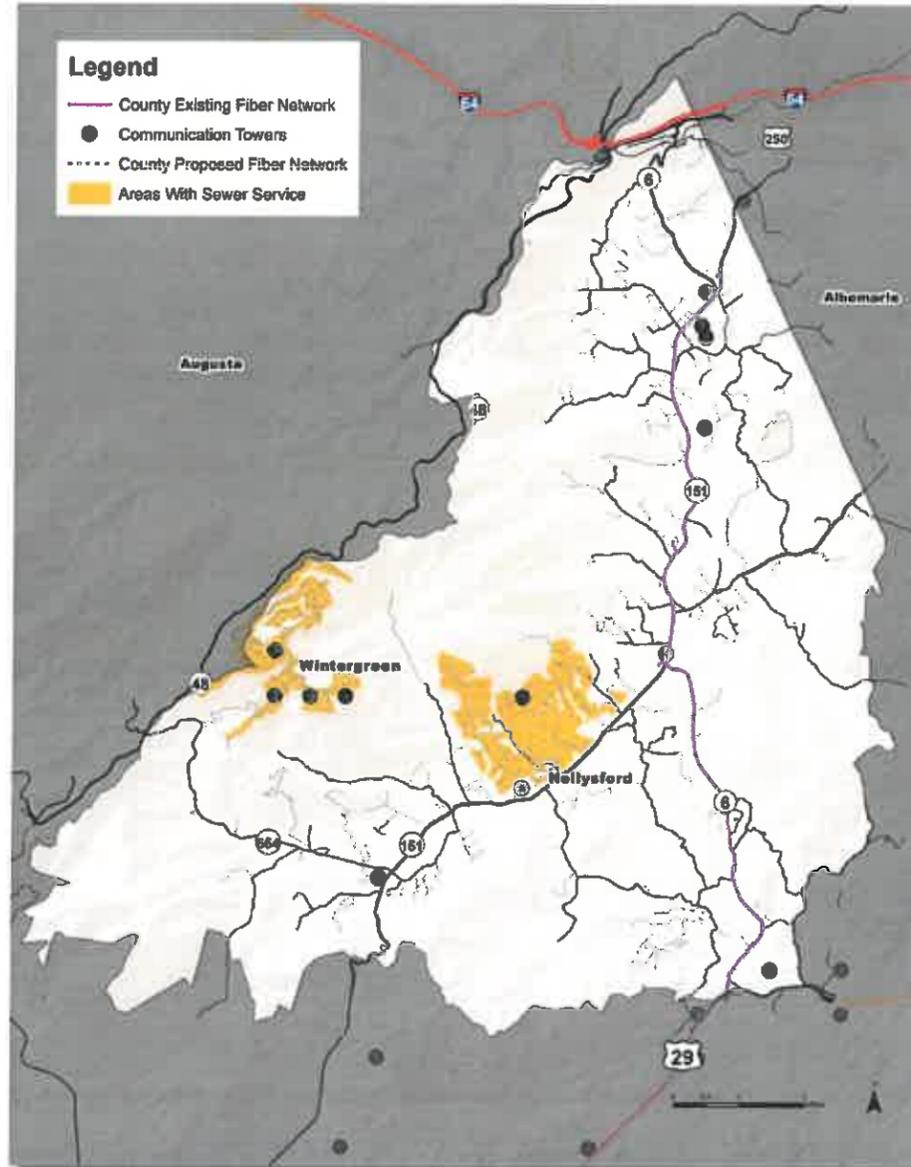
The Rockfish Valley is a vibrant, economically diverse area with numerous local family-owned businesses and successful entrepreneurs. The area supports a thriving agribusiness, agritourism, and resort tourism economy while maintaining its authentic rural character.



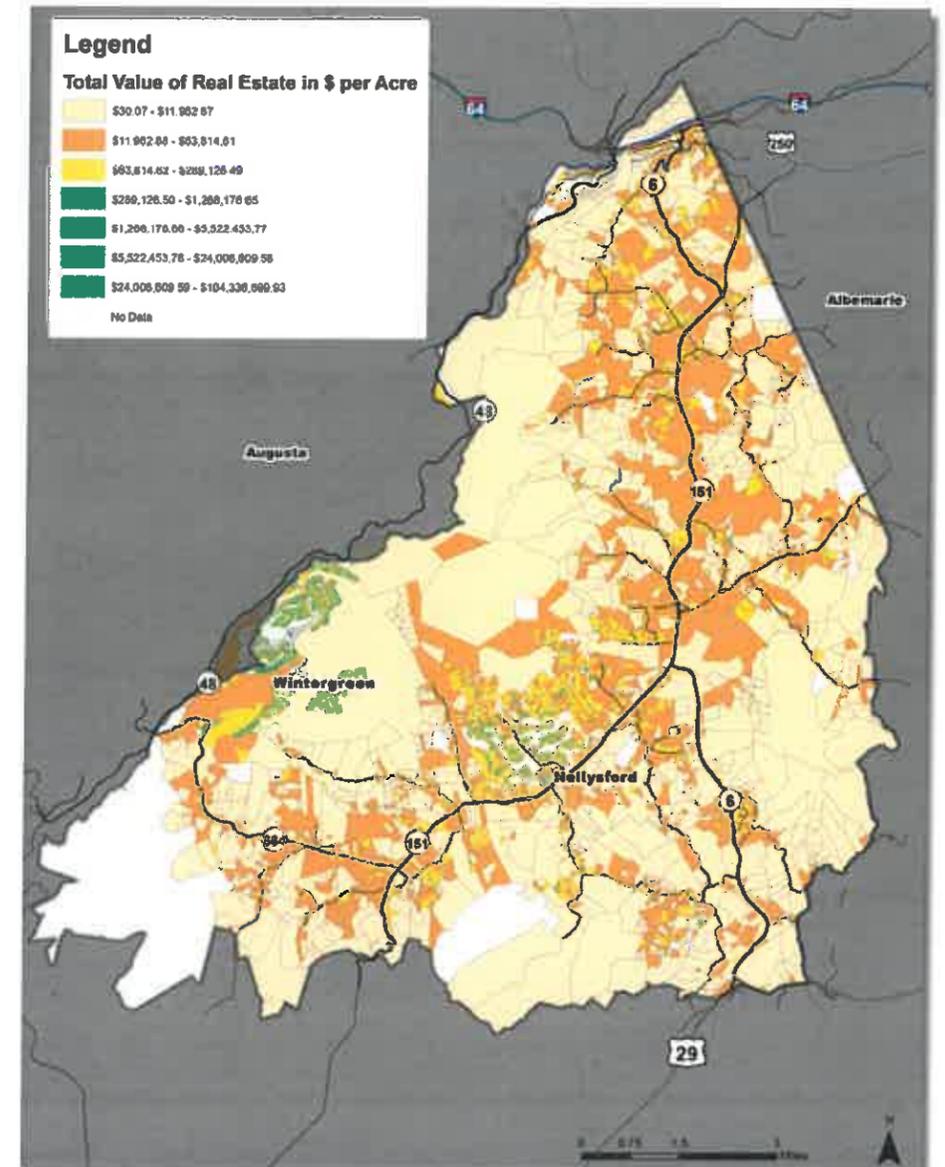
Labor Force Participation



Utility Availability



Value of Real Estate



This map looks at the percent of the population 16 years and over that is participating in the labor force. This measure is an indication of areas with high unemployment rates; areas with concentrations of people who have dropped out of the labor force due to disability or long-term unemployment; and concentrations of people who are not participating because they are full-time students or retired. The state average participation rate is 66.4%



This map highlights major utility availability in the area. Access to utilities is an important factor for new and existing businesses. Access to water, sewer, broadband, and other utilities also benefit residents by: reliably providing safe, clean drinking water; reducing water quality impacts from sewage; and providing broadband internet for education and teleworking.

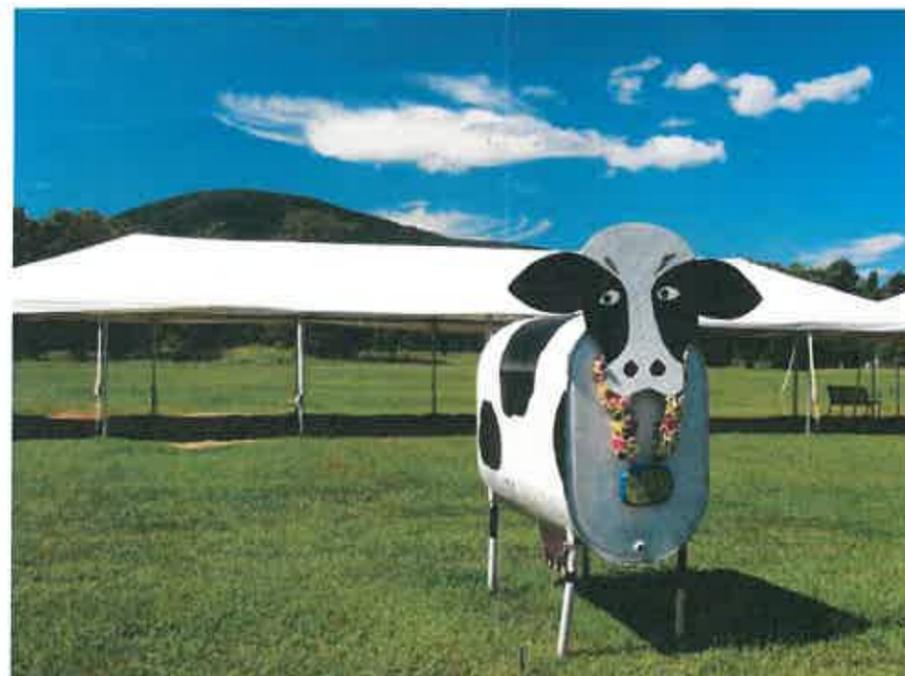


This map highlights the distribution of real estate values in the Rockfish Valley expressed in total dollars per acre. This value includes both the underlying land value and the value of any improvements, such as dwellings and other structures. Note: data was not available for all parcels; and the data does not represent a taxable value of real estate. Data was sourced from Nelson County assessor records from the first quarter of 2016.



Overview

The Rockfish Valley supports a thriving agribusiness and agritourism economy, including numerous award-winning craft breweries, cideries, wineries, and a distillery. The area is also home to more traditional agricultural activities including orchards, raising cattle, the production of forage, crops, nurseries, and timber harvesting. The area's agricultural industry and landscapes help to define the authentic rural character that is such an important part of the community. Working farmlands also benefit the region by protecting open spaces and natural habitats, and providing recreation opportunities for hunting, fishing, and hiking. Most agricultural activities in the area are concentrated in the valley floors, where the flattest and most fertile agricultural land can be found. Further up slope, agricultural lands transition from fields and pastures to orchards and vineyards, which benefit from the rocky soil, cooler temperatures, and desirable solar aspect.

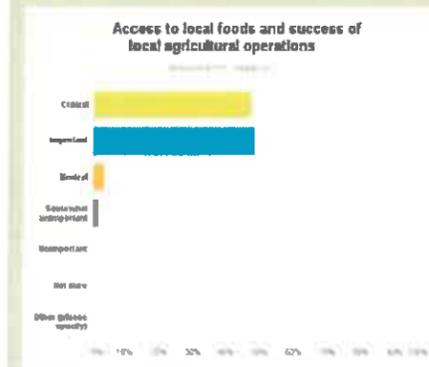


Facts and Figures

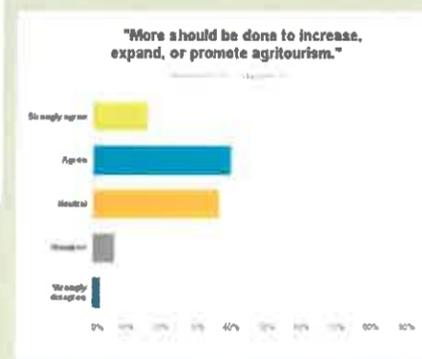
- Amount of land in agriculture: 8,243 acres (13%)
- Total value of agricultural products sold: \$15,807,000 (Countywide)
- Total value of livestock: \$5,430,000 (Countywide)
- Cattle: \$4,785,000 (Countywide)
- Total value of crops: \$10,377,000 (Countywide)
- Fruits, tree nuts and berries: \$463,900 (Countywide)
- Timber Harvest Value: \$2,845,360 Ranked 29th in the state (VDOF 2012)

Public Survey Results:

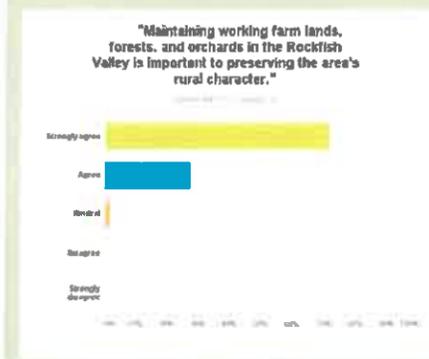
What is the community saying about Ag?
Do you agree with the results of the survey?



Over 90% of respondents said local foods and local ag are important.

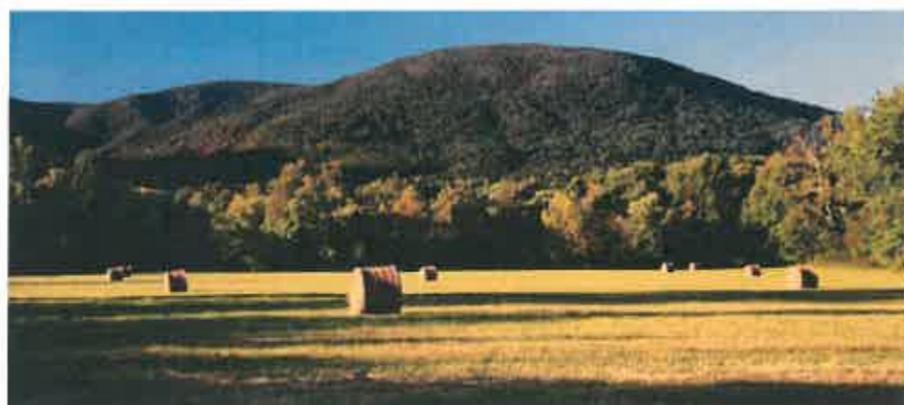
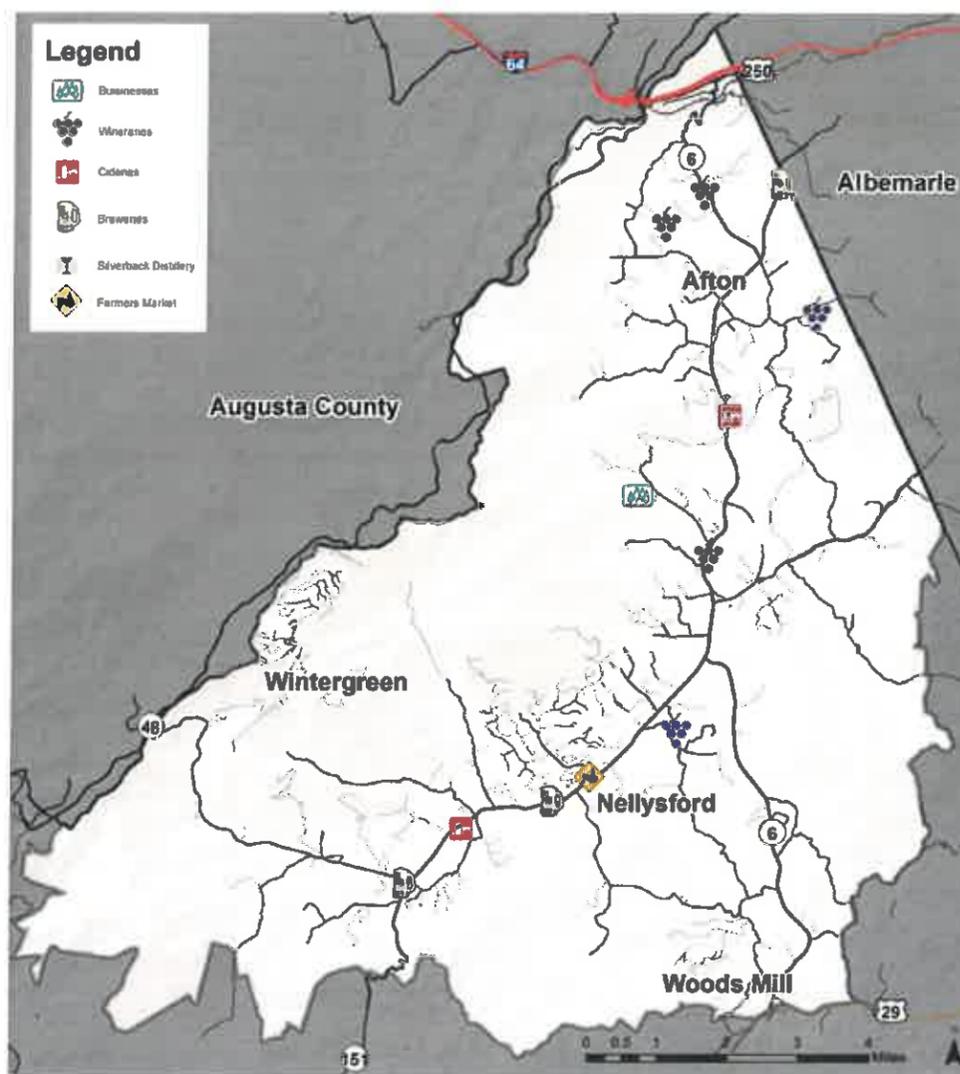


55% of respondents were supportive of more agritourism.



Over 95% of respondents agreed that working agricultural lands are important to the area's character.

Agritourism Destinations

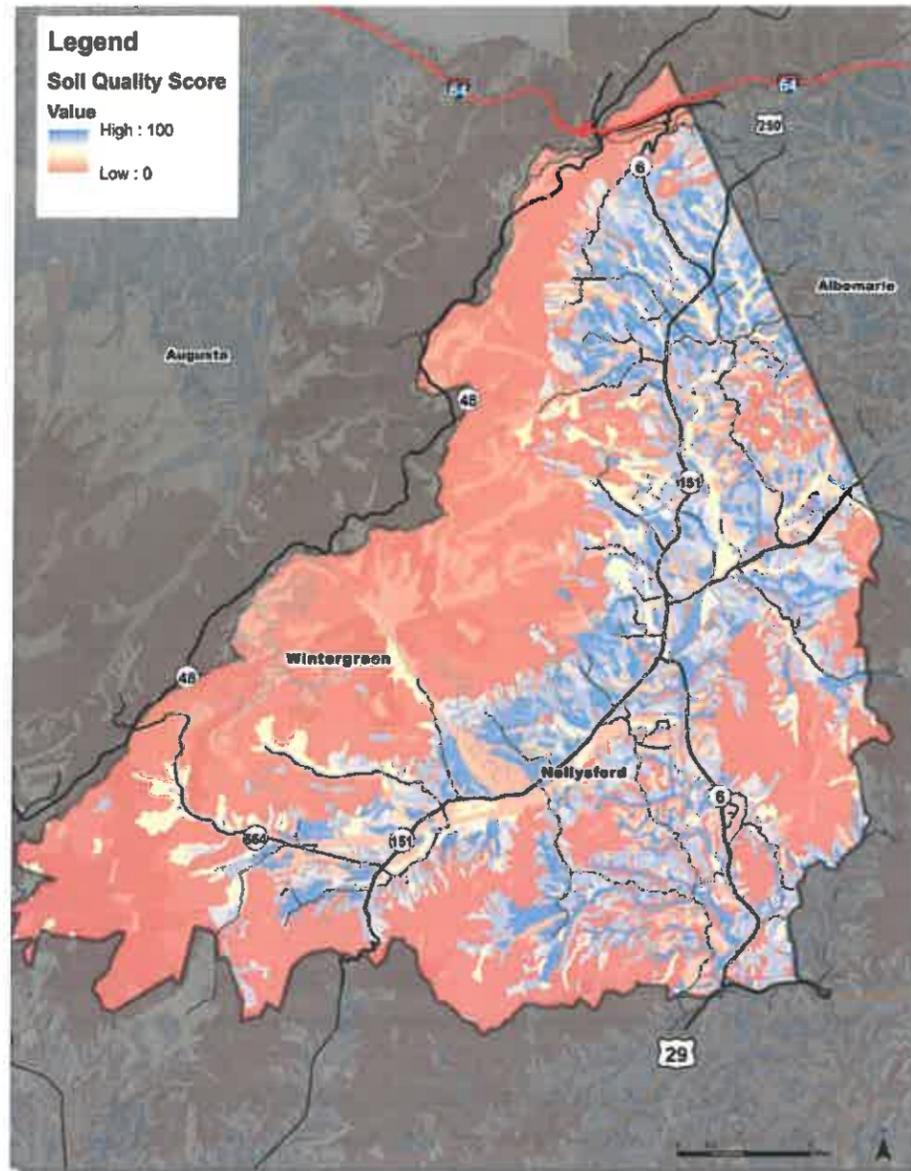


Agriculture

The Rockfish Valley's authentic agricultural heritage is an essential element of the area's sense of place. Traditional agriculture and the growing agritourism industry are vitally important components in the local economy.

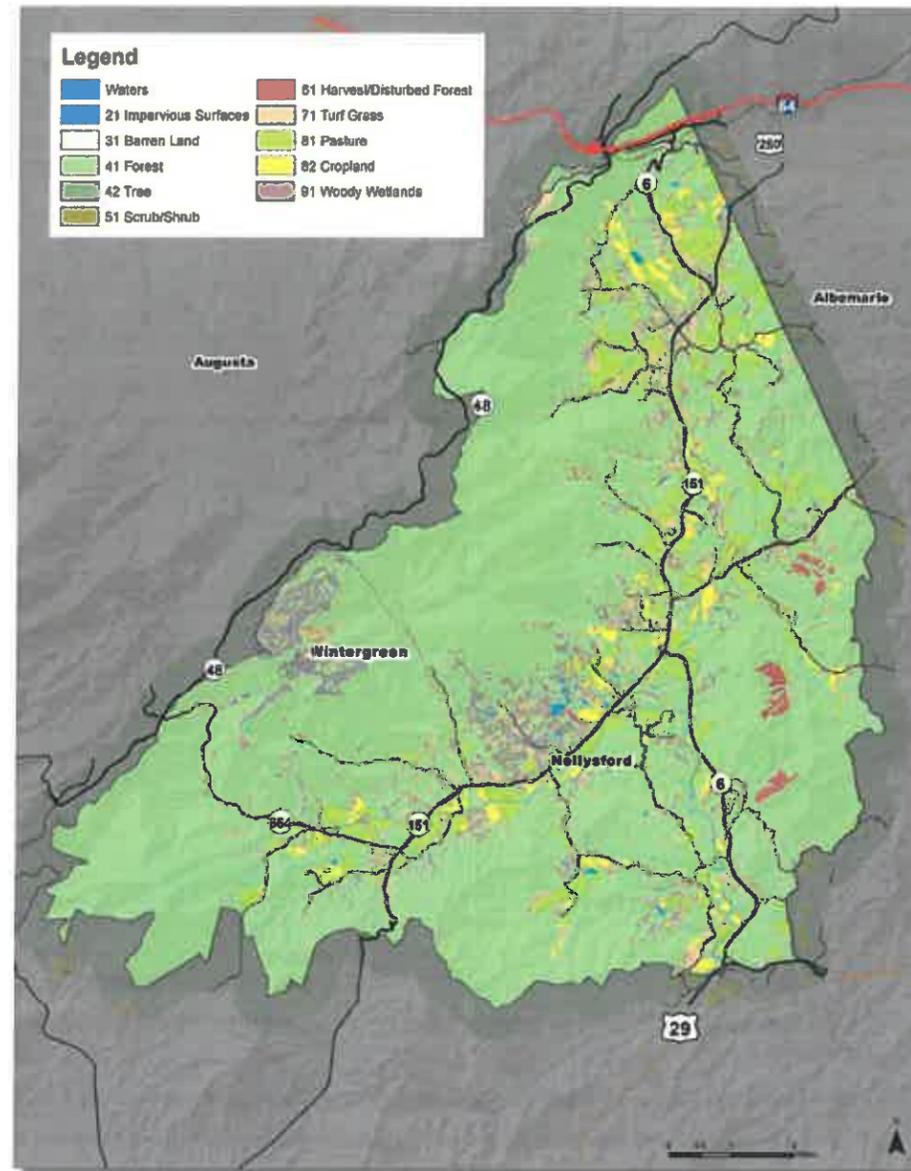


Soil Quality



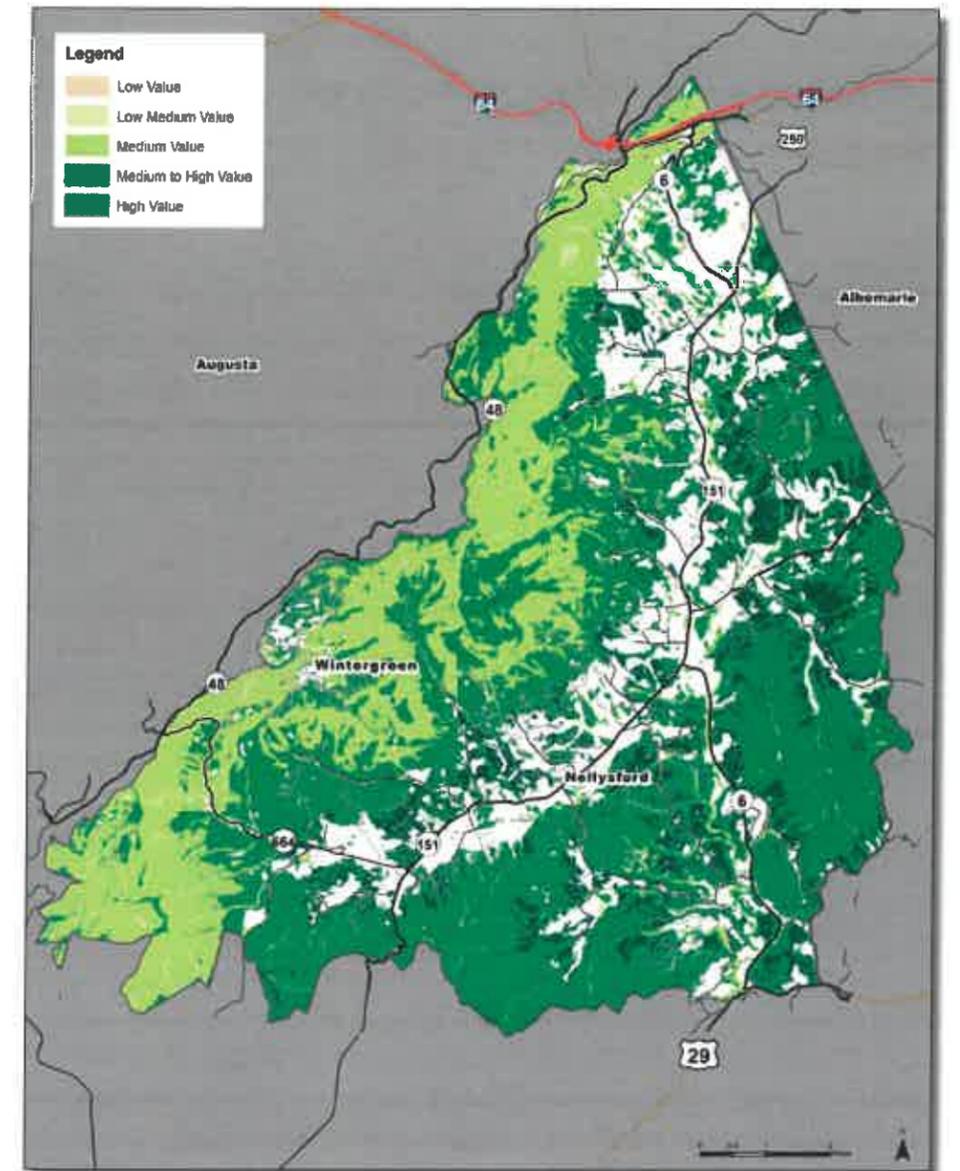
The Soil Quality Index is a map produced by the Department of Conservation and Recreation. The dataset combines several factors relating to soil quality for agricultural uses. These include prime agricultural soils, the threat of flooding, soil type, and terrain. The index scores range from 100 (optimal) to 0 (unsuitable for agriculture). This map demonstrates that high-quality soils are primarily concentrated along streams and river bottoms.

Land In Agriculture



This map uses the Virginia statewide land cover dataset to highlight different types of land cover (i.e. forest, pastures, and cropland) across the Commonwealth. This map highlights where agricultural land uses are occurring in the study area. Most of the agricultural land uses are located in the valley bottoms in close proximity to areas of growth and development, which are represented as impervious surfaces.

Forest Economics Model



The forest economics model was developed by the Department of Conservation and Recreation and the Department of Forestry to highlight forest lands with economic value. The data classifies forest blocks into five values ranging from high to low. Forest value was determined based on a combination of environmental and access factors. The dataset can help guide land management and planning decisions by highlighting which areas of forest have a high economic value.

Community



Overview

Several plans and studies have included the Rockfish Valley, but very few have specifically focused on the study area as this Area Plan attempts to do. Previous plans - including the 1972 and 2002 Nelson County Comprehensive Plans - recognized the area's unique attributes, but provided only a limited roadmap for the community's future growth and development. Other plans and studies include the Route 151 Corridor Study (2013); the Nelson County Green Infrastructure Plan (2010); the Rockfish Valley Corridor Water and Sewer Study (2002); the Region 2000 Water Supply Plan (2011); the TJPDC Regional Bike and Pedestrian Plan; Nelson County's Broadband Project Plan, Economic Development Authority Plan, and DRIVE Tourism Plan; and the VA Tourism Plan (2013) and VA Outdoors Plan (2013).

Facts and Figures

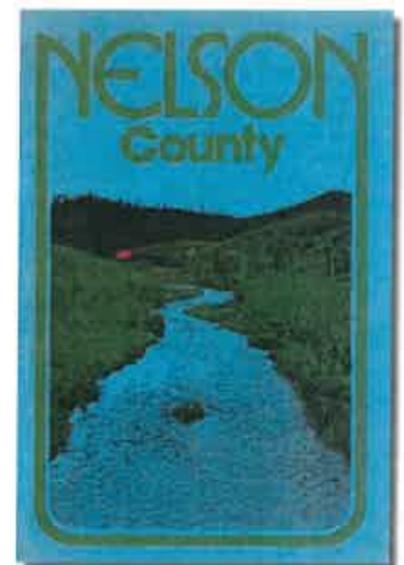
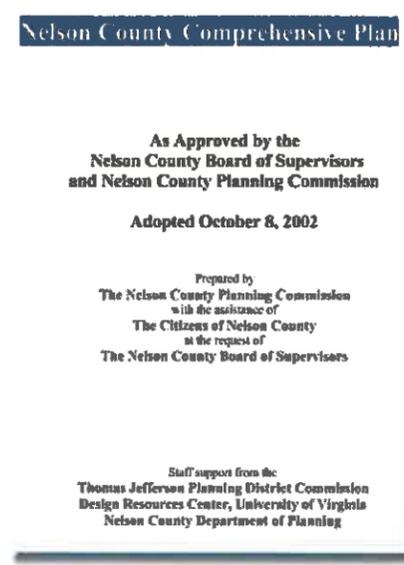
- Current Zoning Map: adopted in 1977 (as amended)
- Current Comprehensive Plan: adopted in 2002
- Study Area Population Density: 32 persons per acre
- Median Age of Residents in Study Area: 51
- Median Income of Residents in Study Area: \$57,230
- Properties on the National Register of Historic Places: 5



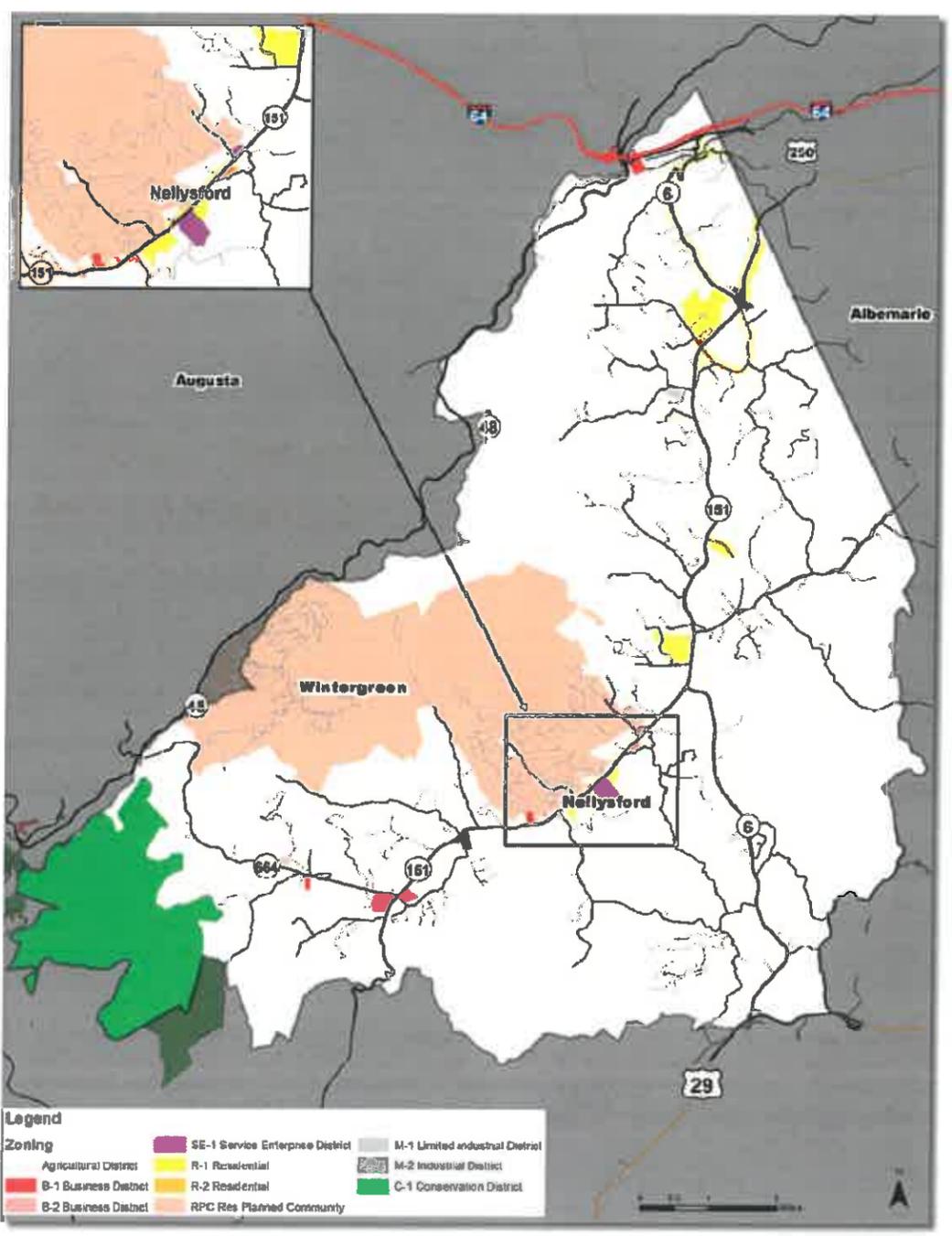
Next Steps

Planning policies and land use regulations are the two main tools that are available to local governments for shaping a community's current and future conditions. As a result, they are the overriding elements that have the ability to impact all the other topic areas. Upcoming Area Plan tasks include a review of existing zoning codes, ordinances, and relevant comprehensive plan sections; and recommendations for possible updates.

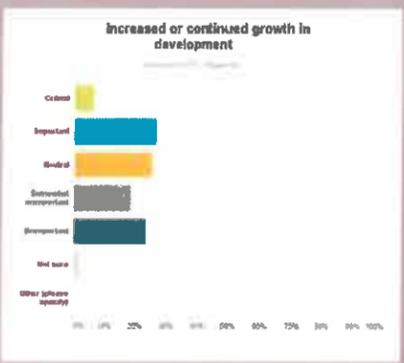
Previous Plans & Existing Studies



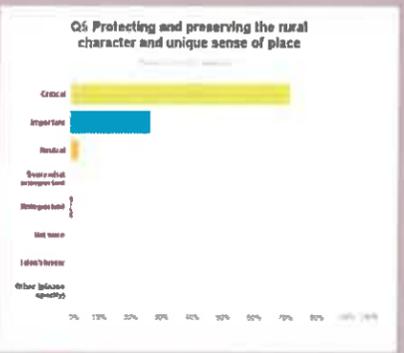
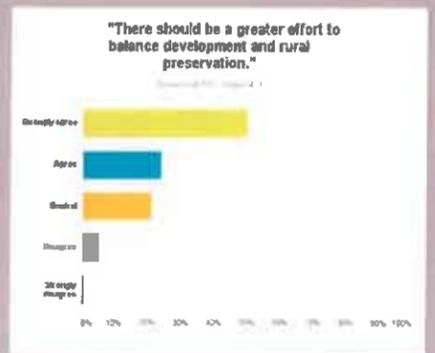
Nelson County Current Zoning Map



Public Survey Planning: What is the community saying about Planning? Do you agree with the results of the survey?



A question about the importance of continued increased growth produced widely mixed responses.



Over 70% said it is critically important to preserve rural character; and over 70% agreed on the need for greater efforts to balance growth and preservation.

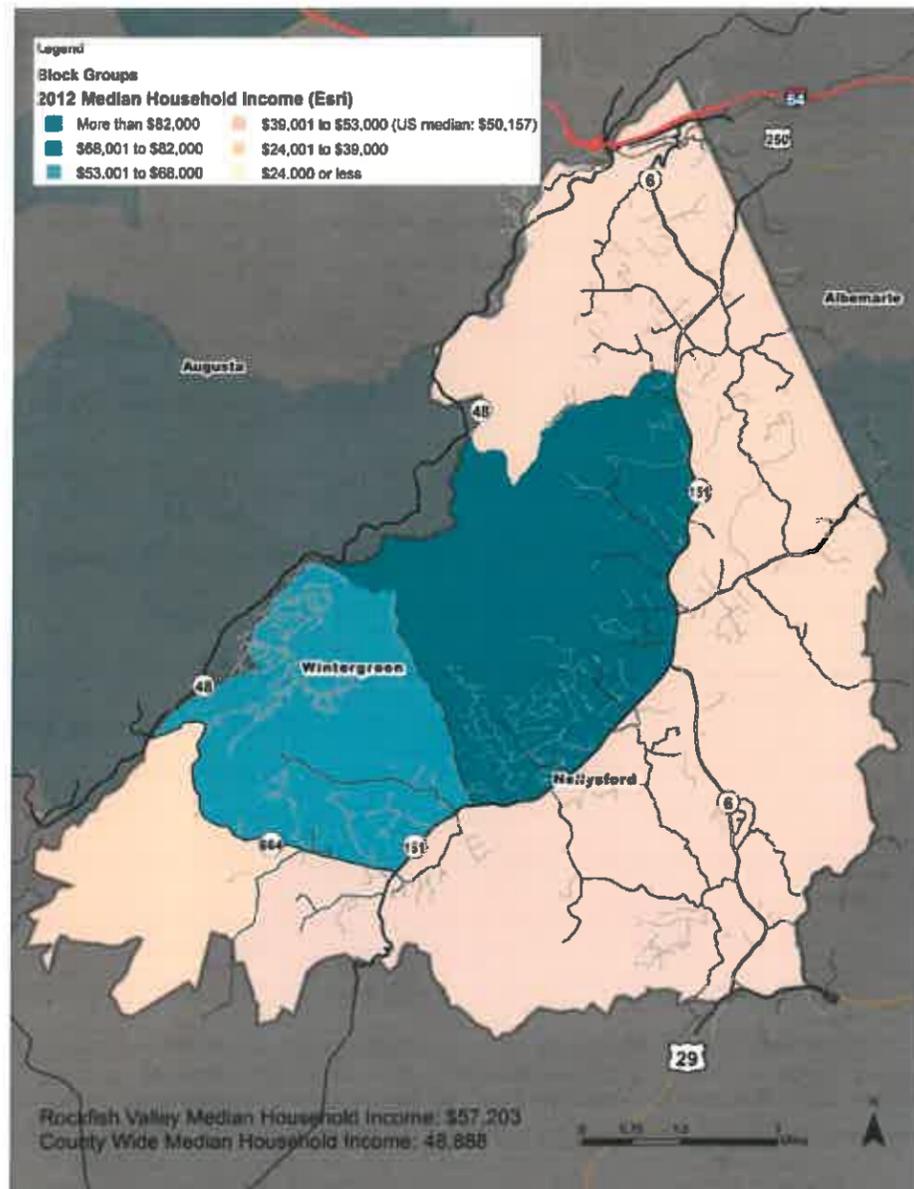


Community

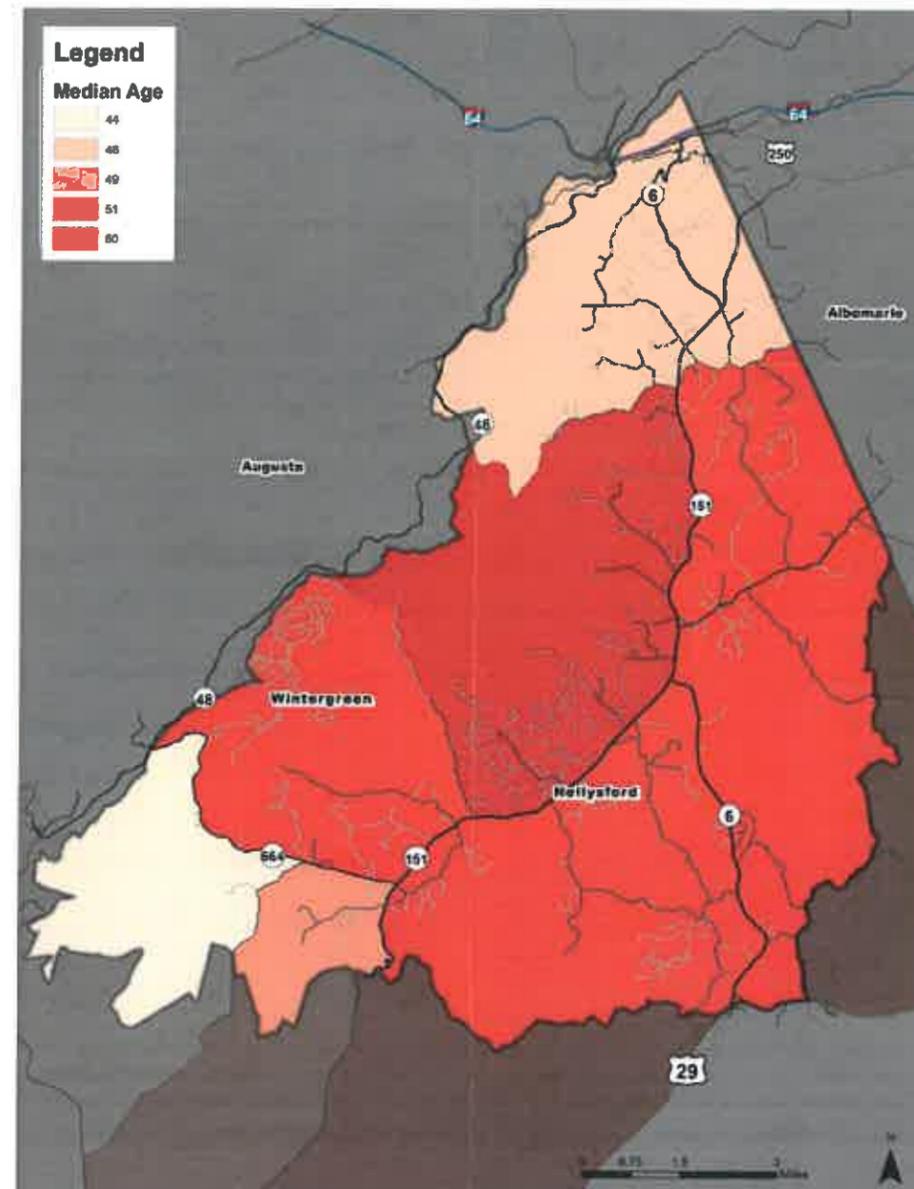
Community needs should reflect the short-term and long-term goals of the local residents. To better understand a community's current trends and issues, it is important to look at demographic data such as age, income, and employment.



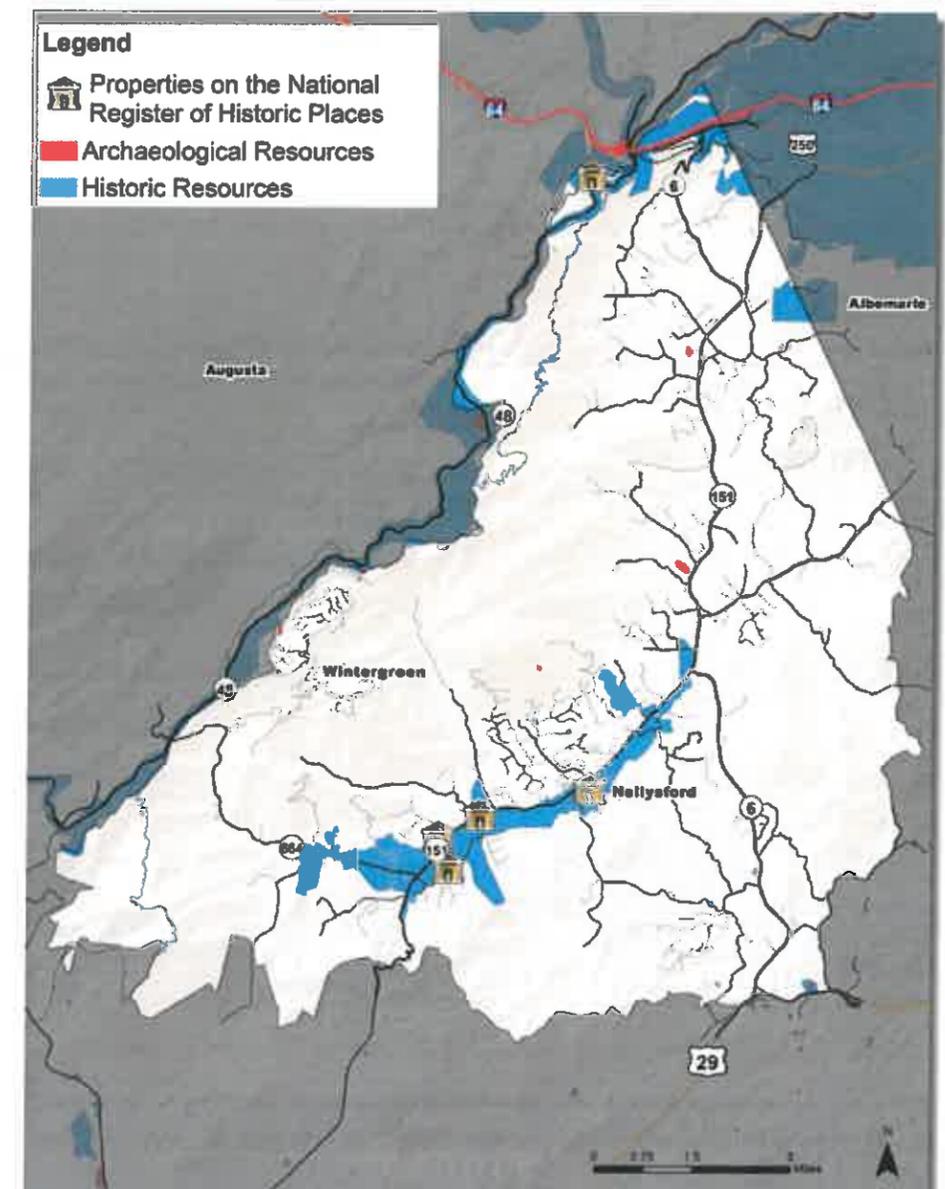
Median Income



Median Age



Historic Resources



Mapping median income provides a view of how income and poverty are distributed across the study area. It provides guidance for which parts of the community might need more services, or which areas might benefit from strategic investment and employment opportunities. This data source is the US Census American Community Survey 2012.



Mapping median age illustrates how a community is aging. It is especially useful for identifying what types of resources a community might need over the mid-term, and where; for example, more nursing homes or more playgrounds for a given location. The median age in the area is 51, which is higher than the state average of 37. The highest median age is 59, which is found in the Nellysford area.



Mapping historic resources provides a better understanding of how resources individually and collectively contribute to cultural landscapes and a sense of place. This data source is the Virginia Department of Historic Resources, and includes the location of properties listed on the National Register of Historic Places as well as others deemed to be eligible or historically significant.

Natural Resources



Overview

The natural environment is a defining characteristic of the Rockfish Valley. The study area is defined by its stunning vistas, babbling brooks, misty mountain forests, and wild places. It is these natural features that have drawn many residents and tourists to the Rockfish Valley. These environmental resources also provide recreational opportunities on public and private lands. People are drawn to the area because of the access and proximity to the Blue Ridge Parkway, Appalachian Trail, and George Washington National Forest; and locals value the area's rural landscapes, working farms, and woodlots which maintain access to hunting and fishing opportunities. The study area is largely free of large-scale residential and commercial development such as what is found throughout neighboring counties. Most development in the study area fronts along the Routes 151, 6, and 664 corridors.

Facts and Figures

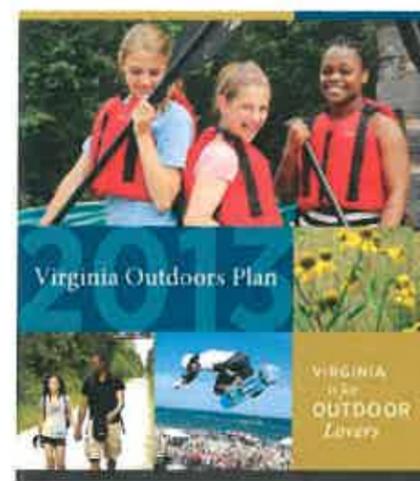
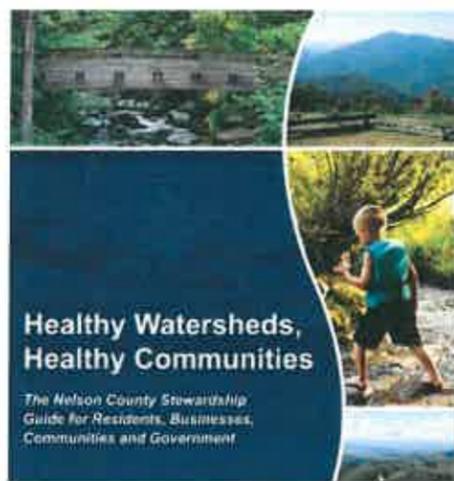
- Total conservation lands in study area: 37.5 square miles
- Total length of streams in study area: 171 miles
- Total area of wetlands in study area: 414 acres
- Total forest cover in study area: 86 square miles (83%)



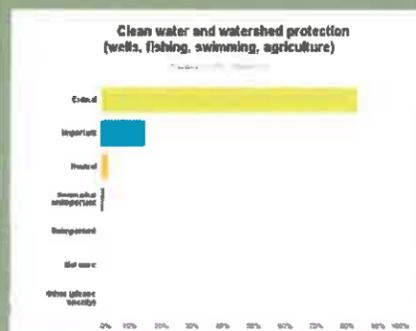
Current Recommendations

Several previous studies have focused on the Rockfish Valley's natural resources and environmental features. These include the Green Infrastructure Plan (2010), which evaluated environmental assets countywide, and which illustrated the value of conserving local natural resources while also sustaining existing local agricultural and timber industries. The Rockfish Valley was also featured in the statewide Virginia Outdoors Plan (2013), which highlighted the area's many outdoor recreation activities such as hiking, rock climbing, hunting, fishing, bird watching, winter snow sports, and cycling. The area's green infrastructure network and continued economic vitality are fundamentally interconnected.

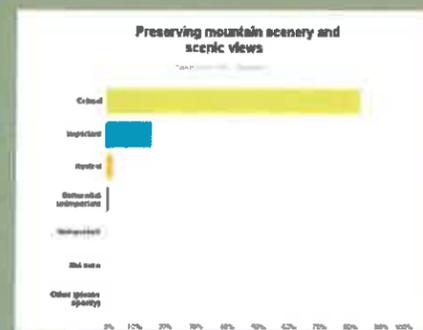
Previous Plans & Existing Studies



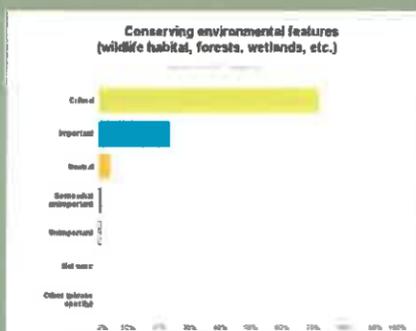
Public Survey Results: What is the community saying about the Environment? Do you agree with the results of the survey?



95% said clean water and watershed protection are important; over 80% said they are critically important.

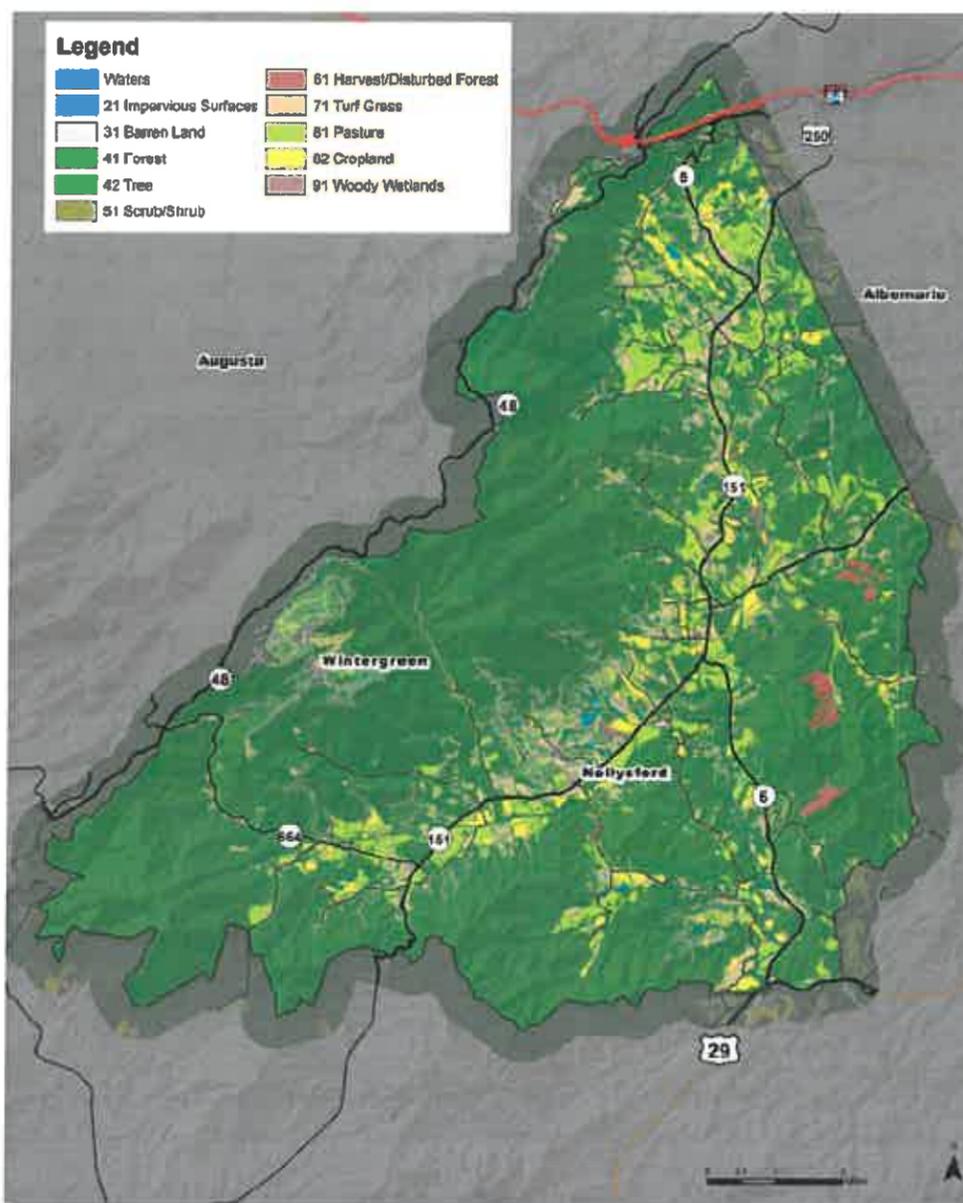


95% said scenic preservation is important; over 80% said it is critically important.



Over 90% said conserving local environmental features is important; over 70% said it is critically important.

Land Cover Map

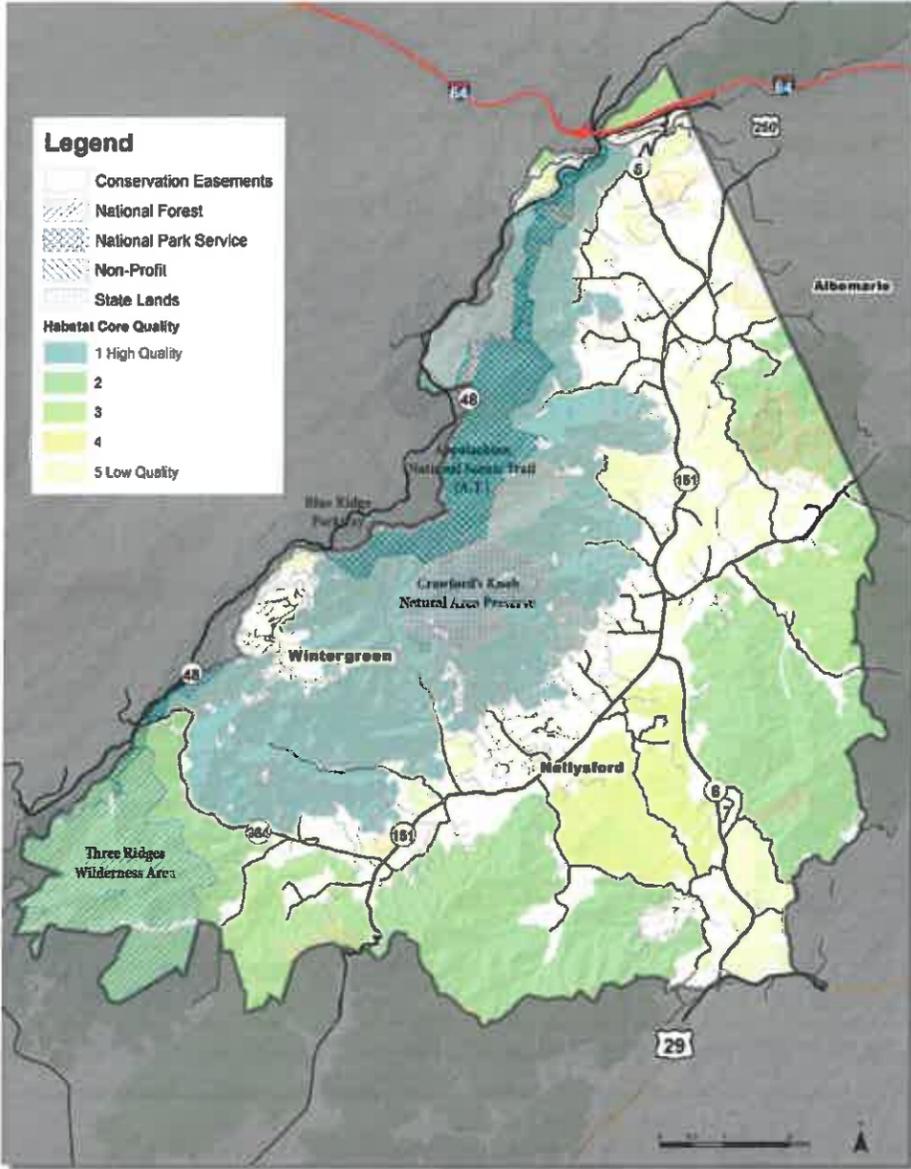


Natural Resources

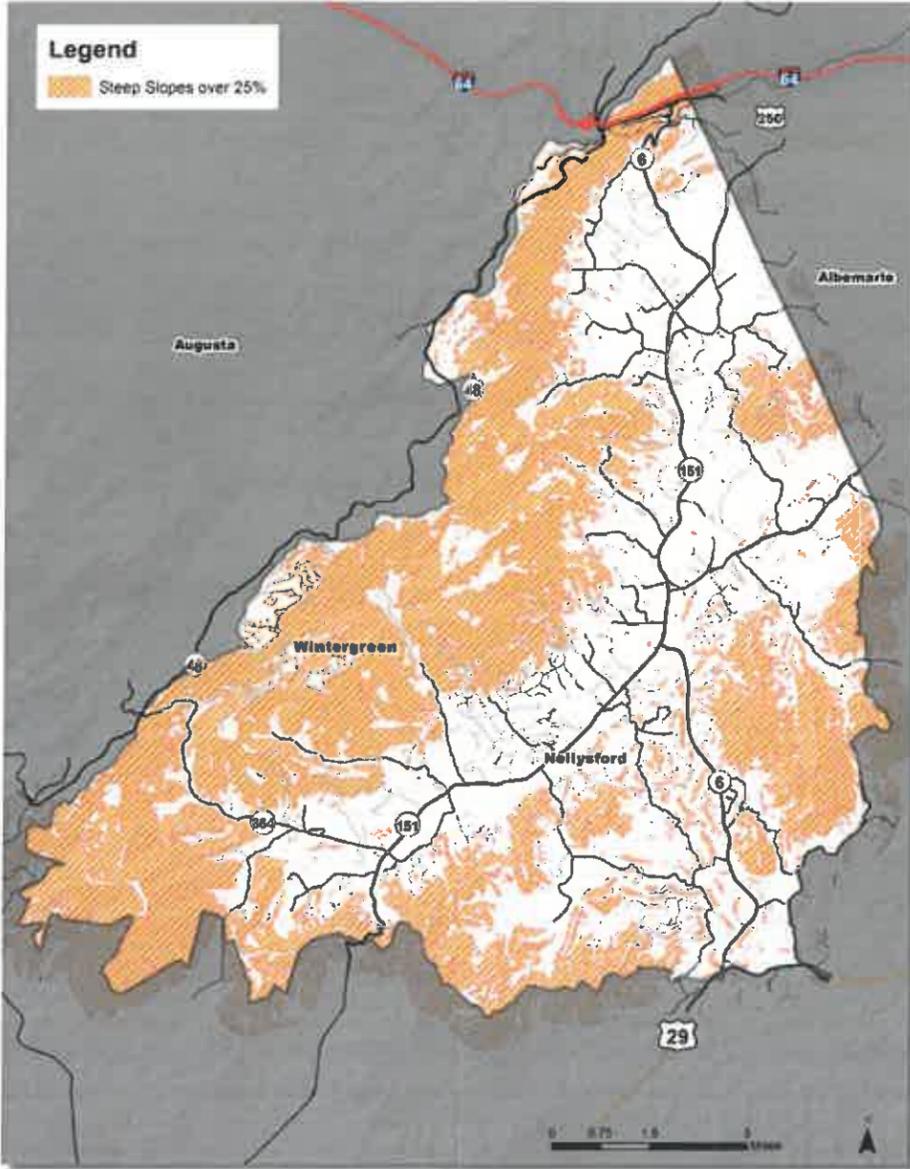
The Rockfish Valley's exceptional natural setting is a key defining characteristic for locals and visitors. Protection of the green infrastructure network - such as forested mountains, headwater streams, fertile river bottoms, groundwater supplies, and wildlife habitat - is essential for protecting the area's way of life.



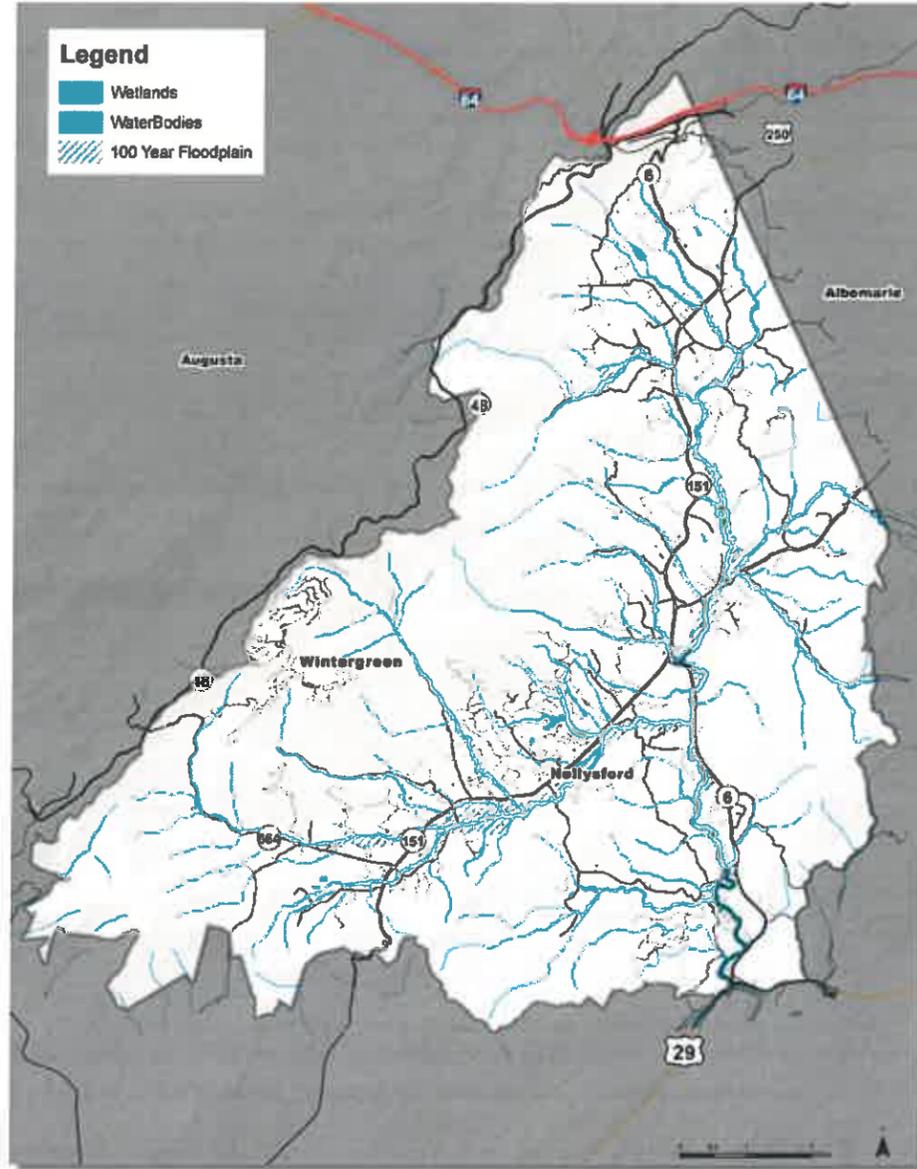
Conservation Land & Habitat Cores



Steep Slopes



Streams and Wetlands



This map identifies the quality of natural landscape cores, as well as land in conservation easement or in public ownership (State, Federal, and nonprofit). These protected landscapes provide critical wildlife habitat and ecosystem services. They also provide recreation opportunities and act as a draw for tourists. Recreation activities like hiking, wildlife viewing, hunting and fishing, photography, and scenic touring have proven to create positive economic impacts.



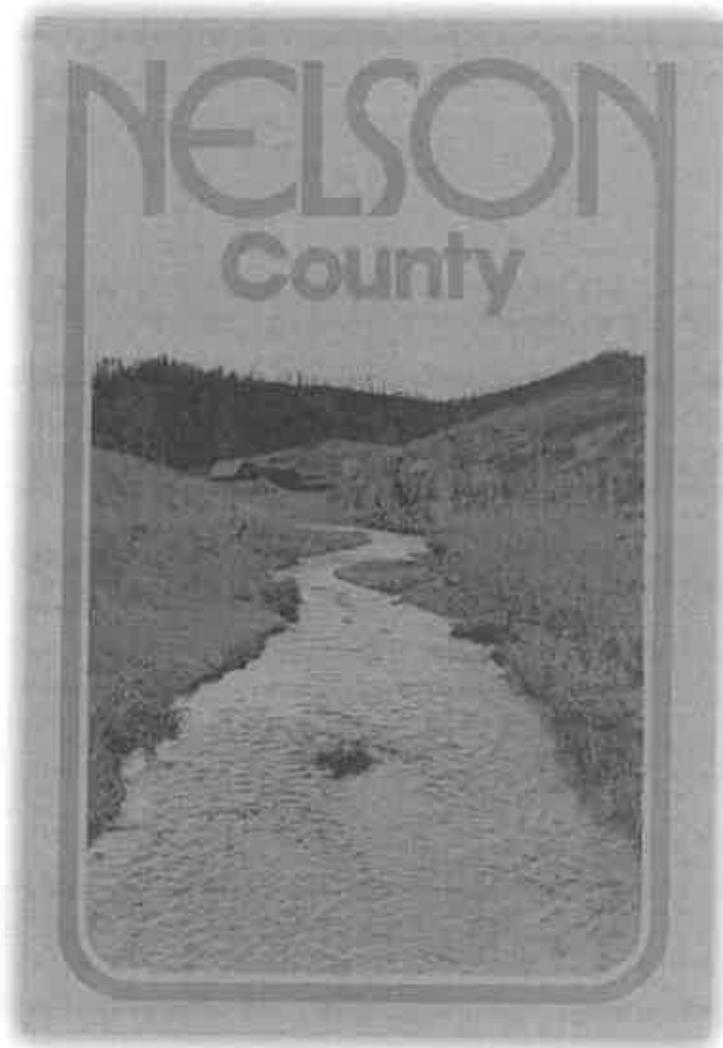
Steep slopes are defined as land areas with slopes greater than 25% in grade. These slopes tend to be found at higher elevations in the study area. Land with steep slopes is more difficult to access and develop; and when developed, there are increased chances for erosion. Steep slope areas also represent some of the most important natural views and vistas in the study area, creating another reason to avoid development of steep slopes.



Streams, rivers, wetlands, and floodplains are vital components of the green infrastructure network. They provide residents with important ecosystem services such as aquifer recharge, water quality protection, a reliable source of safe drinking water, flood mitigation, and riparian habitat. They also create recreation opportunities for fishing and boating. Given the mountainous terrain of the study area, most wetlands and floodplains are in lower elevation river bottoms.

ROCKFISH VALLEY AREA PLAN

Summary of Existing Plans



Original Nelson County Comprehensive Plan (cover) - 1971

General Plans – page 1

Transportation Plans – page 4

Infrastructure Plans – page 6

Economic Development & Tourism Plans – page 8

Other Plans: Environment, History, and Recreation – page 11

GENERAL PLANS

Nelson County Comprehensive Plan (2002; updated 2014)

The Comprehensive Plan acts as a blueprint for the future of Nelson County, and guides citizens, the Planning Commission, the Board of Supervisors, state agencies, and private developers. Implementation of the Plan occurs through an official map, a capital improvements program, the zoning ordinance and zoning map, and the subdivision ordinance.

The Comprehensive Plan identifies Goals and Principles in 8 key areas: Economic Development, Transportation, Education, Public & Human Services, Natural & Scenic Resources, Recreation, Development Areas, and Rural Conservation.

The Comprehensive Plan specifies 5 Development Models: Rural Small Town, Rural Village Development, Neighborhood Mixed Use Development, Mixed Commercial Development, and Light Industrial Development. Areas not designated as one of the five Development Models are labeled Rural Areas, which is divided into Rural Residential Districts appropriate around designated development areas, and Rural and Farming Districts comprised of agricultural uses and open spaces.

The Future Land Use Plan is organized around the Development Model and Rural Areas concept, and is based on two fundamental principles: new growth and development should be concentrated into the County's designated development areas; and the County's unique rural heritage should be preserved and the agricultural and forestal landscapes should be maintained.

The Future Land Use Map describes the bulk of the county as Rural and Farming, a designation adhering to the Land Use for Plan Rural Areas.

Original Nelson County Comprehensive Plan (1971-1973)

Nelson County's first Comprehensive Plan was adopted by the Board of Supervisors on December 8, 1971 and published in 1973. It was produced by the Nelson County Planning Commission and Virginia's Division of State Planning and Community Affairs. The Plan's abstract is as follows:

"The Comprehensive Plan is developed to give directions to both private and public decisions so that the most beneficial arrangement of land use can be recognized, as well as the orderly provisions of public service for present and future residents; provides a basis for intelligent discussion by the public and its elected representatives on the future development of the Community. It is the beginning of the continuing planning process for Nelson County."

The Comp Plan provides analysis of the County's physical characteristics, existing land uses, and community facilities. It also provides a summary of the County's population and economy.

Regarding recommendations and strategies for future growth and development, the Plan adopts a 20-year planning horizon. It states that, "The plan may undergo change many times before 1991, but only for good and justifiable reasons based on established goals and sound planning principles. ... Periodic revision is essential if the plan is to remain flexible and to continue to serve as a reliable guide for community growth." It further states that, "...[C]hanges in overall

concept and major objectives should be approached very gradually, if they are to be changed at all during the next twenty to twenty-five years.”

To those ends, the Plan includes the following planning elements: *Land Use & Major Thoroughfares Plan; Land Use Policies & Recommendations; Comprehensive Plan (Map); Recommendations for Future Growth and Development; and Implementation.*

Land Use Policies & Recommendations include the following goals:

General Goals: “Start a planning process wherein the needs and desires of the citizens of Nelson County will be realized. ... To provide a framework for the orderly growth of a community, wherein the demands for residential, commercial, public, and other land uses can be accommodated in a harmonious manner.”

Agricultural Goals: “This district although primarily concerned with facilitating existing and future farming operations should provide for the **orderly** expansion of urban development...”

Industrial Goals: “Industry is essential to the future economic growth and development of the county and therefore is encouraged to locate in the county. ... All industry should be located in park settings with adequate buffer zones for neighboring uses, with obnoxious, nuisance-type industries isolated from residential districts.”

Commercial Goals: “Where at all possible, strip commercial development along major transportation routes shall be prohibited with all commercial development in planned commercial areas of a regional nature.”

Residential Goals: “Single-family residential must be protected from through traffic and nonrelated uses ... [and] higher density residential should be encouraged near good transportation access; near major commercial areas and employment centers; and near potential sources of public service such as water and sewer. Adequate buffer zones should be established between residential and commercial or industrial areas to maintain property values and physical attractiveness.”

Recommendations for Future Growth and Development include the following strategies:

Agriculture, General: “Due to the predominantly rural character of the existing land use pattern much of the county has been retained in an agricultural land use for the extent of the planning period .. This will tend to discourage intensive development which requires necessary public services, thereby encouraging this development in more favorably located areas established to absorb this greater concentration of people.”

Agriculture, Limited: “This classification was established in order to offer some degree of protection of land areas which now are in private ownership, but may in the future be acquired for public use” such as “wildlife protection” and “recreation facilities.”

Residential: “The major consideration of residential areas in Nelson County are Lovington, Shipman, Arrington, Piney River, and the Avon [and] Afton areas of the Rockfish Valley ... These areas should be zoned accordingly in order to prevent encroachment of conflicting land uses. ... Public water and sewer systems should be provided where at all possible ... in order to facilitate an orderly process of development.”

Commercial: “The commercial areas...are logical expansions of existing businesses which serve the surrounding neighborhood. Most of the commercial areas are found along the major transportation routes ... Lovington...should expand as U.S. Route 29 is improved.”

Industrial: “Additional industries locating in Nelson County would greatly boost the overall income and employment opportunities for the county citizens. Indeed, such growth is essential if Nelson County is to keep the future generation in the County.”

Parks and Recreation: The Plan notes an increasing demand for recreation areas, and identifies opportunities to enhance tourist opportunities in connection with the Blue Ridge Parkway, Skyline Drive, George Washington National Forest, and Appalachian Trail. The Plan also focuses on perceived opportunities associated with the proposed “George Washington County National Parkway,” the James River near Wingina, Lake Nelson, James River Wildlife Management Area, Lesesne State Forest, and several proposed impoundments along the Rockfish River as identified by the U.S. Soil Conservation Service.

Conservation/Flood Plain: “This classification is intended for the conservation of water, and other natural resources of Nelson County ... These areas also include the lands within the high water mark of the flood in August, 1969.”

Implementation emphasizes “Periodic Re-evaluation” as follows: “Application of these [recommended] methods within a continuing planning process will enable Nelson County to pass on to future generations, a harmonious community with an unspoiled environment.”

Nellysford Community Plan (2007)

The purposes of the Nellysford Community Plan were to: plan a safer transportation network for vehicles, pedestrians, transit, and bicycles; improve and enhance the overall business environment; identify potential development of housing opportunities; guide the development of new public spaces; and to guide the pattern and design of future development.

To encourage business development, the Plan recommends encouraging new businesses to locate within existing commercial centers, and the creation of a new mixed-use development center. Transportation recommendations include constructing a local road network running parallel to Route 151. Community development recommendations include regulatory changes to facilitate development. To increase community involvement, an emphasis has been placed on residents actively engaging one another, and the support and patronage of local businesses and restaurants.

The Nellysford Community Plan was not adopted by Nelson County.

TRANSPORTATION PLANS

Route 151 Corridor Study (2013)

The corridor study evaluated the operations and safety of Route 151 for 14 miles between Route 664 (Beech Grove Road) and U.S. 250. Route 151 is an important tourist route, with increasing vehicular traffic due to close proximity to Wintergreen Resort, the Blue Ridge Parkway, and the George Washington National Forest; its designation as a Virginia Scenic Byway; and the increasing popularity of wineries, breweries, and other agritourism attractions in the Rockfish Valley. Route 151 is also used as a shortcut for commercial vehicles traveling between Interstate 81 and U.S. 29.

Goals were to obtain public input and to identify corridor improvements, which improve safety for all users, enhance operations and access management, provide safe multimodal opportunities, retain two lane cross-sections, promote appropriate economic opportunities, and preserve and incorporate the corridor's cultural heritage and historic resources.

A comprehensive safety assessment was conducted, examining 15 intersections to identify deficiencies that contribute to crashes. The operational and safety analysis concluded that the study intersections, as well as the corridor as a whole, required improvements. Route 151 at US 250 needs capacity improvements to provide a sufficient level of service. Three other locations did not need operational improvements, but rather improvements to address safety and geometric deficiencies. The dominant safety issue in many intersections is the lack of sight distance.

Short term actions included maintenance, roadway restriping, and adding projects to the six-year improvement program. Long-term projects required additional studies and design efforts. Ongoing actions include maintenance to remove overgrown vegetation, and monitoring the effectiveness of intersection improvements and regulation enforcement. Mobility for residents without a personal vehicle could be improved by expanding the existing JAUNT rural demand response service to include another day of operation.

Previous Route 151 Corridor Study (2001)

The previous 151 Corridor Study, completed in 2001, examined the safety and operational issues at 8 critical intersections. The analysis evaluated existing conditions to identify operational deficiencies (based on 1999 data); estimated future conditions in the year 2025; and developed recommendations for improvements.

Short-term recommendations were to address a lower grade at the intersection of Route 613; adding a left turn lane on the south and westbound approaches of Route 6 south; adding a left turn lane on the north and eastbound approaches at Route 635 south (Rockfish School Lane); reconstructing the roadway at Route 784 (Bland Wade Lane); sloping the embankments (to improve sight distance) at Route 849 (Tanbark Drive); and lastly, improvements at Route 635 north (Greenfield) and Route 709 (Chapel Hollow Road).

Long-term recommendations included reconstructing the existing roadway of Route 634 south to Route 6 south, to accommodate two 12-foot travel lanes with shoulders marked as bike lanes.

TJPDC Bicycle and Pedestrian Plan

The TJPDC's Bike and Ped Plan describes existing conditions, goals and objectives, potential routes, design guidelines, and proposed guidelines. Overarching goals include providing a comprehensive and coordinated biking and walking system, to provide safe bike and walking networks, to educate the public regarding facilities, safety, and regulations, and establishing a system to implement the plan. Nelson County's existing conditions offer country roads, close proximity to the James River, and challenging terrain in the Blue Ridge Mountains, which provides something for cyclists of all skill levels. The Blue Ridge Parkway is a major bike route, and is part of BikeCentennial Route 76. There are a number of loops that are promoted by the Nelson County Tourism office, and bicycle groups have developed other recreational routes. Greenway trails should be used to connect communities, and trails are the most appropriate pedestrian right-of-way in rural settings.

INFRASTRUCTURE PLANS

Rockfish Valley Corridor Water and Sewer Study (2002)

This study by Draper Aden Associates was prepared for Nelson County and the Nelson County Service Authority for the following purposes:

- To evaluate short term solutions to solve the immediate problems in the Nellysford area;
- To evaluate options to provide public water and sewer systems to other areas of the corridor such as Beech Grove and Avon/Afton as development pressures continue; and
- To provide a preliminary long term water and sewer master plan for providing water and sewer service, as the service areas along the Route 151 corridor develop.

The study notes that Beech Grove, Nellysford, Avon, and Afton areas are all served by individual wells and septic drainfields – there are no public utilities available for existing uses or to support potential future growth. The exception is the Wintergreen Valley Utility Company, which provides both water and sewer systems for the Stoney Creek development and the Valley Green Center retail area.

The study attempts to develop a water and sewer distribution plan to accommodate future growth. The Rockfish Valley corridor is expected to have a high growth rate over the next 20 years. There is speculative evidence that on-site wells and drainfields will not be sufficient to promote the desired economic growth. Several of the drainfields in Nellysford are failing, or are constructed in high water tables.

For the purposes of the study, the corridor was divided into five (5) service areas: Beech Grove, Nellysford, Rockfish Central, Avon, and Afton. The study notes that it is impractical to provide sewer and/or water services to all five service areas at once, and determining how to phase the development of the system will be complex. Due to location and density of uses and residents, the study envisions developing utilities for the Nellysford and Beech Grove area and also for the Afton and Avon area as the higher priorities.

The study suggests that initial service improvements or expansions should begin in Nellysford, where there is an existing utility system and a more densely concentrated customer base. It also identifies Nellysford as the highest priority due to several failing drainfields along Route 151.

The study states that the concept for the long term water master plan is to simply run lines up and down Route 151 to serve the primary service areas, and to divide the areas into pressure zones using tanks, booster pumps, and pressure reducing valves.

The study notes that the water source for the corridor will initially need to be groundwater, and that subsurface water quality tends to be good in this area. Regarding subsurface water supply, the groundwater study concludes it may be possible to obtain as much as 1-1.5 million gallons per day of groundwater throughout the entire corridor – but even that amount may not be a practical long term solution for the growing capacity needs of the corridor. The ultimate long-term solution may be to build an impoundment on one of the creeks along the corridor to store water for a surface water treatment plant.

The study also notes that the development of the sewage collection and treatment system(s) will generally follow the phasing of the service areas, although the sewage treatment plant locations will be different. The interim solution may be to construct small, subsurface package treatment plants until the customer base can support a larger centralized facility. The study notes that “the majority of the soils along the primary Route 151 corridor do not appear to be suitable for sanitary drainfields, but the secondary areas [further from the highway and rivers] do show some potential. If it is desirable to utilize conventional drainfields or even modified options ... for development along the corridor, a more detailed analysis in specific locations will be necessary.”

Region 2000 Water Supply Plan (2011)

The major sections of the Water Supply Plan include information on water sources, water use, regional natural resources, water demand management information, and information on public participation.

The Plan identified existing water sources in Nelson County owned and operated by the Nelson County Service Authority, including three surface water reservoirs; the Schuyler, Lovingson, and Wintergreen Mountain Village systems; and one stream intake in Gladstone. The Plan also states that many homes and businesses utilize private groundwater wells across large portions of the County.

The Plan noted that Nelson County does not purchase water from water supply systems outside the County; and that there are currently no known significant or feasible sources of water that could be purchased from outside the County, or even outside the boundaries of the Region 2000 planning area.

The County is expected to experience a water supply shortage around 2058, and it is estimated that an additional 0.45 million gallons per day of supply will be required by 2060.

Nelson County Broadband Project Plan

Nelson County has been awarded \$1,826,646 for a Broadband Project. The project plans to address underserved areas by deploying 31 miles of new fiber, four new wireless towers, and directing thirteen community anchor institutions. These anchor institutions include seven county government facilities, four K-12 schools, the Blue Ridge Medical Center, and the Jefferson-Madison Regional Library. This should provide speeds from 10 Mbps up to 1 Gbps, and also create more affordable service. This should enhance public safety by allowing emergency services to communicate more efficiently, as well as to provide residents, students, and teacher’s access to multimedia educational information and distance learning opportunities. The project has strong community support, and letters of interest have been received from service providers, the Blue Ridge Medical Center, county representatives, community anchor institutions and other local entities. Partners include the Blue Ridge Medical Center, Central Virginia Electric Cooperative, International Broadband Electric Communications Inc., Nelson Cable Inc., and the Nelson County School Board.

ECONOMIC DEVELOPMENT & TOURISM PLANS

Nelson County Economic Development Authority Plan

The goal of Nelson County's economic development plan is to promote the diversity and growth of the county's economic base. Specific focuses include:

1. Business and Industry Development
2. Communications and Relationships with Other Economic Development Actors
3. Education, Workforce, and Technology
4. Tourism

Within Business and Industry Development, objectives include business retention and expansion, the rehabilitation and renovation of existing vacant buildings, and a target industry study. Within the second focus (Communications), objectives include encouraging other economic development groups to become more active and to develop relationships with other stakeholders. To accomplish that, the EDA will meet with the Chamber of Commerce, NAMA, the School Board, the Farm Bureau, the Planning District Commission, etc. The second major objective is to disseminate information about the EDA's services to the general public. Regarding the education goal, objectives include working with the county school district to develop entrepreneurship, conducting workforce audits, preparing for adult education, monitoring internet technology opportunities and developing internet access plans. Finally, the objectives for the tourism goal include improving signage in the County, diversifying the tourism base in the County, developing infrastructure to support tourism, and maintaining an inventory of tourism and related infrastructure.

Virginia DRIVE Tourism Plan (2014-2015)

The Virginia DRIVE Tourism Plan was developed by the Nelson County Tourism and Economic Development Office in partnership with Virginia Tourism Corporation. The Plan process included extensive involvement from local tourism stakeholders across 2014 and 2015.

Executive Summary: Tourism generated over \$173 million in revenue for Nelson County businesses in 2012 (an increase from \$148 million in 2009). That revenue is a powerful driver of our local economy. By adopting and implementing a practical marketing strategy, as represented in this Plan, the Nelson County Tourism and Economic Development Office intends to increase the economic impact of tourism in our area by making the Sunrise Side of the Blue Ridge Mountains the preferred authentic Virginia mountain experience.

Mission Statement: To enhance the economic prosperity of Nelson County by promoting, selling and marketing the destination to travel consumers

Strategies:

- Increase economic expenditures to Nelson County from the business and leisure market segments (individual travel)
- Increase economic expenditures from group travel segments
- Build community support for tourism as an economic development strategy
- Influence product development and infrastructure improvements that are consistent with the mission and the image for Nelson County

- Conduct research that tracks accountability and provides rationale for strategic marketing decisions.

Virginia State Tourism Plan (2013)

The Virginia State Tourism Plan acts as a blueprint for communities to develop a competitive edge without sacrificing the authenticity of a specific region. It features a five-year guide for tourism direction within the Commonwealth as a whole, built with the collaboration of Virginia's tourism industry stakeholders. This is a larger tourism strategy, not a marketing plan featuring advertising and slogans.

The State Tourism Plan was formed with a great deal of stakeholder input, from more than 1,300 Virginians, 180 participants in workshops, 140 individual discussions, and a survey that received 1,000 completed responses. In 2011, tourism in Virginia had an economic impact of \$20.4 billion, which was an 8% increase from 2010. This supports 207,000 jobs in the state, and is the fifth largest non-farm industry. There is a diversity of tourism products in the state, including history, heritage, outdoor recreation, arts, music, culinary, sports, and meetings.

The State Tourism Plan includes a section focusing on Central Virginia, which encompasses the Lynchburg, Charlottesville, and Richmond metropolitan areas. The Central Virginia section includes the following highlights:

- **Tourism Situation:** Central Virginia is an established tourism region, and more rural areas are continuing to emerge. The region is rich in culinary experiences, including wine, craft breweries, distilleries, agri-tourism, and diverse dining experiences. Central Virginia is a major contributor to Virginia's national and international recognition within the wine industry. Visual and performing arts also diversify the region's tourism offerings.
- **Industry Vision:** The desire among Central Virginia stakeholders is to build upon the historical and heritage assets in an authentic manner and to further develop outdoor recreation, culinary, cultural, and other assets to increase tourism.
- **Consumer Perspective:** Visitor insights show that Central Virginia was rated highly by most past and prospective travelers for its historical attractions, food and dining, accommodations, and being good for families. While many also recognized Central Virginia as scenic, outdoor recreation activities such as camping, hiking/exploring nature, and viewing wildlife/birds were not as prominent in visitors' minds.
- **Competitive Perspective:** For Central Virginia, several urban, rural, and historical areas of North Carolina, South Carolina, and Pennsylvania were analyzed – including Asheville, Charleston, and Philadelphia and its countryside. Central Virginia, with its own rich history, culinary, culture, and nature experiences, is well-positioned to compete.

The State Tourism Plan also provides applicable objectives and strategies for Central Virginia, which are presented for the five plan outcomes of Products, Pillars (infrastructure), Partnerships, Promotions, and Policies. “High-Level Regional Takeaways” include:

- Leverage history and culinary as unifying themes for the region, further enhancing interactive history experiences and using wine to build and expand other culinary experiences

- Cluster development and enhance connectivity
- Continue to build creative economy
- Leverage younger population base in college towns for music, outdoor, and entertainment attractions
- Develop complementary products and signature experiences
- Maintain character and authenticity and create new development in a sustainable manner

Nelson County Sales Gap Analysis (2005)

This sales gap analysis provides a wealth of information for commercial district revitalization programs, offers insights into current conditions, and identifies areas for possible development and economic expansion.

The analysis of Nellysford, an affiliate Main Street community, includes:

- Comparison of taxable retail sales
- Average sales per retail business
- Composition of businesses and other uses
- Market position
- Demographic profiles
- Nelson County residents' estimated buying power
- Estimated unmet market demand
- Potential sales targets and market-based strategies

OTHER PLANS: ENVIRONMENT, HISTORY, AND RECREATION

Nelson County Green Infrastructure Plan (2010)

This “Healthy Watersheds, Healthy Communities” project by the Green Infrastructure Center includes the *Nelson County Watershed Stewardship Guide for Residents Businesses, Communities, and Government* as well as the *Nelson County Policy Guide for Green Infrastructure & Local Planning*.

The overarching goals supported by the Green Infrastructure Plan include:

- conserving wildlife habitat and biodiversity;
- supporting the county’s agricultural and timber economy;
- educating the public about the significance of habitat cores and corridors; and
- encouraging businesses and industries that strengthen the agricultural economy, which can also be achieved through supporting local food initiatives.

The *Policy Guide* identifies specific opportunities to incorporate green infrastructure planning principles into Nelson County’s Comprehensive Plan. It also recommends the creation of a new Agricultural District designation in the Zoning Ordinance which could be voluntarily used to rezone A-1 lands with prime agricultural soils and with parcel sizes greater than 20-acres. This recommendation would support the protection of remaining undeveloped farm lands.

The *Stewardship Guide* identifies Nelson County’s existing green infrastructure resources, and notes that the need to protect those resources is urgent due to recent increases population growth rates. It also identifies tools and actions which can be taken by residents, including residential and agricultural best practices, stream monitoring, and educational activities.

The *Stewardship Guide* also provides the following “Guiding Principles” for Community Stewardship: protect high-quality forests; sustain agriculture and working farms; ensure clean, healthy water; and celebrate recreation and heritage. It also identifies opportunities to incorporate stewardship tools into local community planning and zoning processes, such as:

- Comprehensive Planning that relies on community input to identify community goals and priorities for the future;
- Zoning Ordinance components such as cluster development ordinances, steep slope ordinances, and low impact development (LID) standards; and
- Overlay and Special Use Districts to protect sensitive and unique areas, such as Riparian Overlay Districts and Entrance Corridor Overlay Districts
- Proffers which are designed to offset the impacts associated with new development.

VA DEQ Rockfish River TMDL Study (2011 – 2012)

The Rockfish River TMDL Study gives details about state and federal requirements, a review of the Rockfish River Bacterial TMDL Study, a synopsis of the implementation planning meetings, implementation actions, measurable goals, stakeholder roles, and potential funding sources. The goals of TMDL implementation are to restore water quality so they comply with water quality standards.

The Rockfish River study area contained approximately 67,500 acres within the greater James River Basin. The predominant land use is forest (84%), with pasture, cropland, and developed areas covering 7%, 3%, and 5% of the study area, respectively.

Public participation, used to develop the TMDL implementation plan, occurred through a series of public meetings starting in September 2011. The goals of these meetings were: to present the bacteria TMDLs for the Rockfish River and the sediment TMDL for Taylor Creek; to provide a basic introduction to the process of implementing TMDLs; to engage the community through the Steering Committee and the Working Groups; and to explain the roles and responsibilities of each Working Group. Implementation actions consisted of selecting appropriate control measures and quantification of control measures by pollutant source.

Groundwater Pollution Potential Map (1993)

This countywide map was produced in 1993 by the Thomas Jefferson Planning District Commission using methodology published by the U.S. Environmental Protection Agency. The map notes that, "Nelson County is a beautiful and mountainous county ... [and] is primarily agricultural, with portions in the Rockfish Valley undergoing rapid suburbanization." It also states that, "Groundwater quality is important to residents as most of the population depends on private wells for drinking water."

The map indicates that areas along the river bottoms within the Rockfish Valley have a relatively high DRASTIC index, which indicates a higher potential for groundwater pollution potential. Specifically, the areas defined as "River Alluvium Hydrogeologic Settings" found along Reids Creek, South Fork Rockfish River, Stoney Creek, and North Fork Rockfish River and its tributaries are shown as having the highest DRASTIC index. This is primarily due to the geology and soils characteristics, which include rapid discharge and recharge rates as well as shallow aquifer depths.

Rockfish River Watershed Study (1990's)

The Rockfish River Forum Steering Committee was formed to identify environmental values important to the community; to learn innovative tools to protect, manage, and monitor the watershed; and to devise strategies to protect social, cultural, and environmental resources. The mission statement of the Forum was to safeguard the health, scenic beauty, and cultural heritage of the Rockfish River and its watershed.

A two-day forum was held where basic hydrology and a brief overview of the issues concerning the Rockfish River were discussed. Participants identified an action plan to restore and protect the watershed. The Plan notes that the Rockfish River watershed is primarily rural, but that the area is experiencing pressures from development, especially in the Northern part of Nelson County, due to a close proximity to Charlottesville and the Wintergreen Resort.

Overarching goals include:

- (analysis and evaluation): better understand the current condition and health of the watershed, to make better decisions about its management and to be able to measure progress;

- (stewardship): implement land management practices and processes that lead to better stewardship for the watershed;
- (education): create a community of residents and businesses that are informed about watershed issues and are motivated to take actions to protect the watershed. This information should be both accessible and widely distributed to all residents and businesses.
- (zoning): develop and implement County planning and legal tools to facilitate protection and improvement of the Rockfish River watershed

Virginia Outdoors Plan (2013)

The Virginia Outdoors Plan is a comprehensive statewide document which identifies and evaluates existing recreation and environmental resources, and which specifies future priorities. The Outdoors Plan was most recently updated in 2013 after extensive public outreach and stakeholder participation.

Lesesne State Forest, comprised of 422 acres in Nelson County's West District, acts as a wildlife sanctuary and is an outdoor research laboratory for the American Chestnut. Two nature preserves are also located in Nelson County: Crawford's Knob and Naked Mountain. Route 29, in Nelson County, should be evaluated to determine if it qualifies as a Virginia Scenic Byway. Scenic resources in the County include Crabtree Falls and Wintergreen Mountain. Nelson County affords some on-road bicycling opportunities, including a portion of the Bicycle Route 76 along the Blue Ridge Parkway, and other scenic loops.

The Plan identifies the James River as an important environmental and recreational asset, and supports the development of the Middle James Water Trail and James River Heritage Trail along the James River Valley corridor. Another recommended project in the Plan is to restore, reopen, and interpret the Crozet Blue Ridge Tunnel, as well as creating 2.2 miles of trail infrastructure for public access.

South Rockfish Rural Historic District (proposed)

The South Rockfish Rural Historic District is centered on the areas along Rockfish Valley Highway (Route 151) and Beech Grove Road (Route 664), and includes buildings constructed between 1739 -1941. The size of this proposed district is approximately 1,500 acres and is predominantly rural. The area is significant for both farmhouses and agricultural outbuildings. Some of these agricultural outbuildings date back to the late-eighteenth and early-nineteenth centuries. Fork Farm, circa 1740, is an example of 18th century vernacular architecture. Three Chimneys, circa 1795 and also known as the Major James Woods House, is listed on the Virginia Landmarks Register of Historic Places. The South Rockfish Valley still contains working farms that have existed for over 260 years, which provides an example of changing agricultural practices.

Virginia Main Street Program

Nellysford is currently an Affiliate Main Street member, which is an option is for communities that are exploring downtown revitalization, that are preparing for designation, or that may not be eligible for designation. It provides access to all Virginia Main Street training and limited on-site assistance, as resources permit.

Virginia's Main Street Program offers a range of services that can address the need for revitalization of small to mid-sized downtowns, using the Main Street Approach. To be eligible, there must be at least 50 commercial enterprises and 70 commercial structures in the proposed Main Street District. Traditionally, at least 25 percent of the linear street frontage should have a setback of 15' or less from the sidewalk, and it should be possible for pedestrians to walk comfortably. The Community is required to propose specific boundaries for the district, and to provide evidence showing that it meets the requisite criteria.

Design elements in the revitalization efforts include renovating buildings, constructing compatible development, improving signage and displays, and creating attractive and usable public spaces. Economic restructuring includes building entrepreneurial economies, strengthening existing businesses and recruiting new ones, developing financial incentives, finding new economic uses for existing Main Street buildings, and monitoring the economic performance of the district. Consulting services include architectural design services, organization tune up visits, economic restructuring visits, and small town merchant visits.



To: Chair and Members, Nelson County Planning Commission
From: Tim Padalino | Planning & Zoning Director
Date: July 14, 2016
Subject: **Continued Review of Proposed Zoning Ordinance Amendments:
Article 10 (“General Floodplain District FP”)**

Summary of Review Process:

<i>August 11, 2015</i>	Staff presents proposed (draft) amendments to BOS
<i>December 8</i>	BOS votes to refer amendments to PC
<i>January 27, 2016</i>	PC receives referred amendments
<i>February 24</i>	PC continues review
<i>March 23</i>	VA DCR staff attends PC meeting to assist with policy review/amendment process
<i>April 27</i>	PC formally requests 100-day extension to review process
<i>May 6</i>	Original deadline for PC to provide BOS with recommendations (per Code of VA)
<i>May 10</i>	BOS approves 100-day extension
<i>May 25</i>	PC continues review and directs staff to advertise for 6/22 public hearing
<i>June 22</i>	PC conducted public hearing
<i>July 27</i>	PC to vote on formal recommendations to BOS
<i>August 14</i>	Extended deadline for PC to provide BOS with recommendations

Staff Commentary on “Variances”:

The Planning Commission conducted a properly-advertised public hearing for these proposed amendment on June 22nd. After the hearing was closed, the Planning Commission continued their review, which included discussion about the issue of defining “Variance” in a way that is more reflective of the state’s model ordinance. Specifically, the PC directed staff to prepare draft language for a definition of Variance to be included in Article 10 for PC review and possible inclusion in the PC’s recommendations to the BOS.

The PC also directed staff to only provide this new language, without providing the full text of the proposed amendments and without reproducing previous staff report information. Therefore, please consider the following staff recommendations for further modifying the proposed amendments to Article 10, Section 7 (“Definitions”) as follows:

[Add the following definition shown in **bold**]:

Variance: For the purposes of Article 10, a variance is a grant of relief by a community from the terms of a floodplain management regulation.

Adding the above definition of “Variance” to existing Article 10, Section 7 (“Definitions”) would increase consistency between local and state model ordinance; and it would not alter the review process, evaluation criteria, or other factors associated with Variance requests made pursuant to (proposed) Article 10, Section 22 (“Variances”).

Additionally, the Planning Commission may wish to consider recommending an amendment to Zoning Ordinance Article 2 (“Definitions”) as follows (below) This would create maximum clarity, but is not necessary in order for the proposed modification to Article 10, Section 7 (above) to be sufficiently effective.

[Modify the following definition – add text shown in **bold**]:

Variance: Except as where provided for elsewhere, a variance is a reasonable deviation from those provisions regulating the size or area of a lot or parcel of land, or the size, area, bulk or location of a building or structure when the strict application of the ordinance would result in unnecessary or unreasonable hardship to the property owner, and such need for a variance is not contrary to the intended spirit and purpose of the ordinance, and would result in substantial justice being done.

As noted above, your meeting materials packet will include a printout of the proposed amendments only for the page containing this recommended amendment to Article 10, Section 7. An electronic copy of the entire proposed amendments will be made available to each Commissioner, and (as always) will be available for public inspection at the Planning & Zoning office.

Summary & Conclusion:

Please contact with me any questions you may have regarding the information contained in this staff report, or regarding the issue of floodplain management in general. And please reference previous staff reports which contain much more detailed information (and which can be made available electronically or in paper format upon your request.) Thank you for your attention to this important topic, and for your participation in this ongoing amendment process.

APPENDIX A - ZONING

incurred repetitive loss or substantial damage regardless of the actual repair work performed. The term does not, however, include either:

- (1) any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions; or
- (2) any alteration of a "historic structure," provided that the alteration will not preclude the structures continued designation as a "historic structure."
- (3) Historic structures undergoing repair or rehabilitation that would constitute a substantial improvement, as defined above, must comply with all ordinance requirements that do not preclude the structure's continued designation as a historic structure. Documentation that a specific ordinance requirement will cause removal of the structure from the National Register of Historic Places or the State Inventory of Historic places must be obtained from the Secretary of the Interior or the State Historic Preservation Officer. Any exemption from ordinance requirements will be the minimum necessary to preserve the historic character and design of the structure.

Deleted: This term includes structures, which have incurred "structural damage" regardless of the actual repair work performed.

Suspended cable fence: A steel cable or chain suspended across the waterway between two secured posts. From the cable a fence made of galvanized chain, chain mesh, galvanized mesh or prefabricated fencing or netting is attached. The suspended cable remains taut during the flood while the flood gate fence remains flexible and rises with the flow. Some variations of the flood gate fence have foam or plastic floats at the bottom of the fence to aid in flotation on the surface of the flood flow.

Variance: For the purposes of Article 10, a variance is a grant of relief by a community from the terms of a floodplain management regulation.

Violation: The failure of a structure or other development to be fully compliant with the community's floodplain management regulations. A structure or other development without the elevation certificate, other certifications, or other evidence of compliance required in this ordinance is presumed to be in violation until such time as that documentation is provided.

Watercourse: A lake, river, creek, stream, wash, channel, or other topographic feature on or over which waters flow at least periodically. Watercourse includes specifically designated areas in which substantial flood damage may occur.

Deleted: Code of Federal Regulations, Title 44: Emergency Management and Assistance, Part 60-Criteria For Land Management and Use, Subpart A-Requirements for Land Management Regulations, Sec. 60.3(b)(5), (c)(4), (c)(10), (d)(3), (e)(2), (e)(4), or (e)(5)

10.8 Establishment of Floodplain Districts

A. Description of districts.

1. *Basis of districts.* The various floodplain districts shall include special flood hazard areas. The basis for the delineation of these districts shall be the Flood Insurance Study (FIS) and the Flood Insurance Rate Maps (FIRM) for Nelson County, prepared by the Federal Emergency Management Agency, Federal Insurance Administration, dated June 18, 2010 and any subsequent revisions or amendments thereto.

The boundaries of the Special Flood Hazard Area and Floodplain Districts are established as shown on the Flood Insurance Rate Map which is declared to be a part